Planning Commission Public Meeting Packet



CITY OF LANCASTER PLANNING COMMISSION PUBLIC MEETING AGENDA

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Meeting Agenda— Lancaster City Planning Commission

Wednesday, August 17, 2022 6:00 PM City Council Chambers City Hall Annex 120 North Duke Street, Lancaster City, Pennsylvania

- 1. Call to Order
- 2. Approval of Minutes of Meeting of the July 20, 2022 Meeting
- 3. Subdivision and Land Development
 - A- Planning Commission Waiver of preliminary plan application for PCAD Students Housing project at 223 N. Water Street.

MACK Engineering, Inc., has submitted a plan for converting the existing vacant Chameleon Club over to 43 individual bedroom student housing along with three classrooms and a 353sf of commercial space. There is a second floor 1,041 Sf addition on the south side of Water Street replacing the Chameleon Club roof deck. The sidewalk on Water Street will be replaced and a wheelchair lift added at the Prince Street

B- Sketch Plan presentation for 347 North Queen St. by ELA Group, Inc. and Tippetts/ Weaver Architects

The developer proposes a Mixed-use Residential 7-story building that includes 72 residential units. The ground floor contains a 1,750 SF commercial space, a 966 SF Fitness area, and tenant storge. A total of 18 parking spaces (including 1 van ADA space) are provided for the residents.

4. Redevelopment Authority of City of Lancaster (RACL)

- A- Certification of Blight for 538 Southeast Avenue
- B- Certification of Blight for 502-506 W. Walnut St
- 5. Housing Subcommittee
- 6. Comprehensive Plan Update

Land-use Exercise for Downtown Quadrant.

7. Other Business

Election of new chairperson for the Planning Commission

- 8. Public Participation
- 9. Adjournment



CITY OF LANCASTER PLANNING COMMISSION AGENDA DOCUMENTS

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3.	Subdivision and Land Development
	A. Planning Commission Waiver of preliminary plan application for PCAD Students
_	Housing project at 223 N. Water Street.
	Engineering Inc.
	Lancaster City Planning Commission
	Attn: Lancaster City Planning Commission
	Re: 223 N. Water Street, PCAD Housing Narrative
	Narrative:
	a. The existing vacant Chameleon Club is being converted over to 43 individual bedroom student housing along with three classrooms and a 353sf of commercial space. There is a second floor 1,041 Sf addition on the south side of Water Street replacing the Chameleon Club roof deck. One new opening for the trash room door, windows and doors being replaced and a new roof installed. The sidewalk on Water Street will be replaced and a wheelchair lift added at the Prince Street entrance.
	Very truly yours,
	MACK ENGINEERING INC
	Matthew J. Maek
	Matthew J. Mack, PE
	cc: PCAD
	CIVIL ENGINEERS, LAND PLANNERS & MUNICIPAL ENGINEERING SERVICES 429 BARBARA STREET P.O.BOX 88 LANDISVILLE, PA 17538 BLANDON, PA 19510 P: 717-990-8449 E: <u>mmack@mackengineering.net</u>
	B. Sketch Plan presentation for 347 North Queen St. by ELA Group, Inc. and Tippetts/ Weaver Architects



August 14, 2022

Mr. Mandali Kejjo City of Lancaster 120 North Duke Street Lancaster, PA

Re: 347 North Queen Street Mixed Use Project Sketch Plan – Project Narrative City File #: N/A

Dear Mr. Kejjo:

The project site is currently a surface parking lot at the corner of North Queen/Lemon Streets. The majority of the property is square in shape and is 0.26 acres (11,288 SF) in size. The Project consists of:

- 7-Story Mixed Use Building with 72 Residential Units on Floors 2 through 7
- 1,750 SF Commercia/Retail Space (Corner North Queen/Lemon Streets)
- 966 SF Fitness Space (North Queen Street)
- Ground floor will also include the primary entrance door from Queen Street to a Package Room, Lobby of the Residential Units above, Tenant Storage, Mechanical Equipment Rooms, Trash/Recycle Room, and Elevator/Stairs.
- Although parking is not required by zoning, the Owner is providing 18 parking spaces (including 1 Van ADA Space) for the Residents. This parking area is located on the eastern portion of the site, with the access drive from Lemon Street. The residential floors extend over these parking spaces, providing protection from the elements. (The driveway is generally in the same location as the existing driveway to the existing surface parking area.)
- The building façade at ground level will extend along Lemon Street, as will a roll down garage door. These building elements and roll down garage door will screen the resident parking area from the public view from Lemon Street.
- Stormwater facilities are in process of detailed engineering for the Final Land Development Plan, and close coordination with the Project Team. These facilities include an underground infiltration area in the southeast corner of the site, additional underground stormwater facility, as well as a green roof.
- A portion of the roof will also provide outdoor space for the building residents.

Street Trees and Streetscape Improvements

We are seeking the removal of the 2 existing street trees along North Queen Street, as well as 2 very small trees along Lemon Street.

The project will provide a total of 8 New Street Trees, planted every 25' along North Queen Street and Lemon Street. New brick banding and sidewalks also be provided on both of these streets, meeting the City's standards.

We look forward to presenting the Sketch Plan of the project to the Planning Commission, and working through the detailed engineering of the Final Land Development Plans.

Other City Approvals

Below is a list of the other approvals that we will obtain from the City, concurrent with the Final Land Development Plan processing:

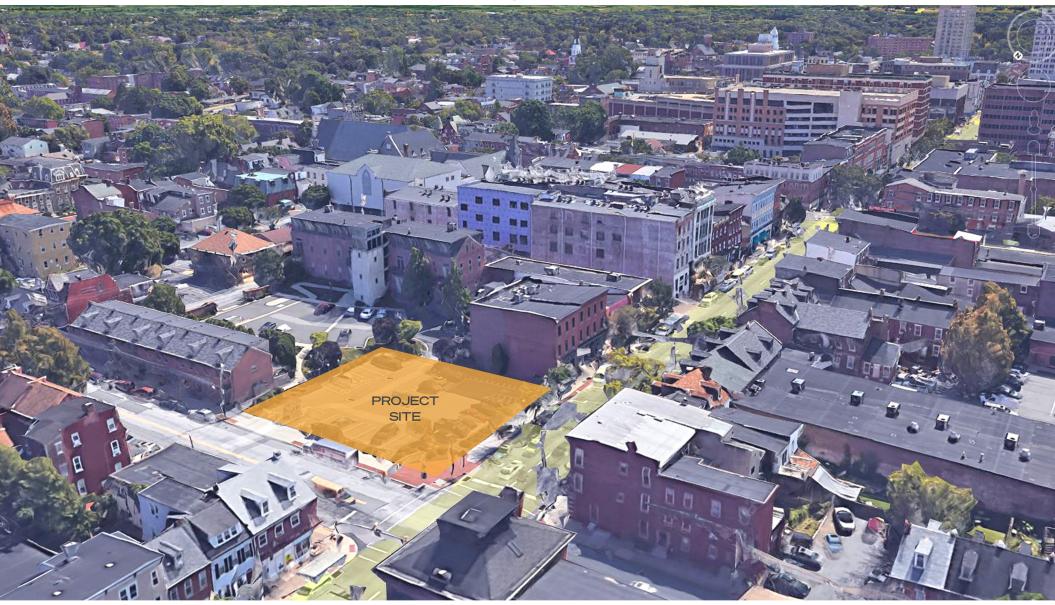
- Historic Commission "New Construction"
- Shade Tree Commission (Removal of 4 Trees, as well as 8 New Street Trees)
- Traffic Commission (Removal of Existing Driveway and Installation of New Driveway in Same Location.)

C:\Users\cheryl\ACCDocs\ELA Group\1246-001 347 N Queen St Lancaster\Project Files\Project Documents\Land Development\02 Sketch\2022_08_14 Narrative 347 N Queen St.docx

Planning Commission Presentation

347 N. QUEEN STREET Mixed Use Development | Lancaster, Pennsylvania

17 August 2022



TIPPETTS/WEAVER architects

ADJACENT BLOCKS AERIAL SITE PLAN





BUILDING SCALE CONTEXT VIEW: looking southeast



architects



BUILDING SCALE CONTEXT VIEW: looking northeast towards Lancaster General Health

EXISTING SITE PHOTOS: E. Lemon St. facing South

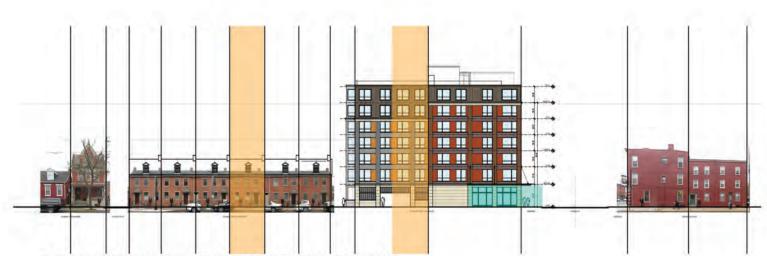


EXISTING SITE PHOTOS: N. Queen St. facing East

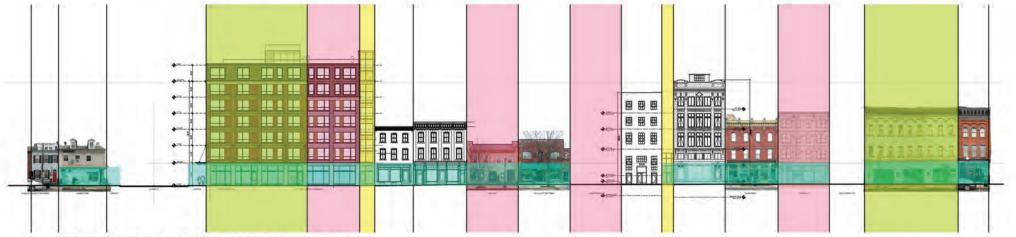








NORTH ELEVATION: EAST & WEST LEMON STREET PATTERN DIAGRAM



WEST ELEVATION: NORTH QUEEN STREET PATTERN DIAGRAM

STREET PATTERN DIAGRAMS 347 NORTH QUEEN 347 N. QUEEN STREET, LANCASTER, PENNSYLVANIA



18 APRIL 2022

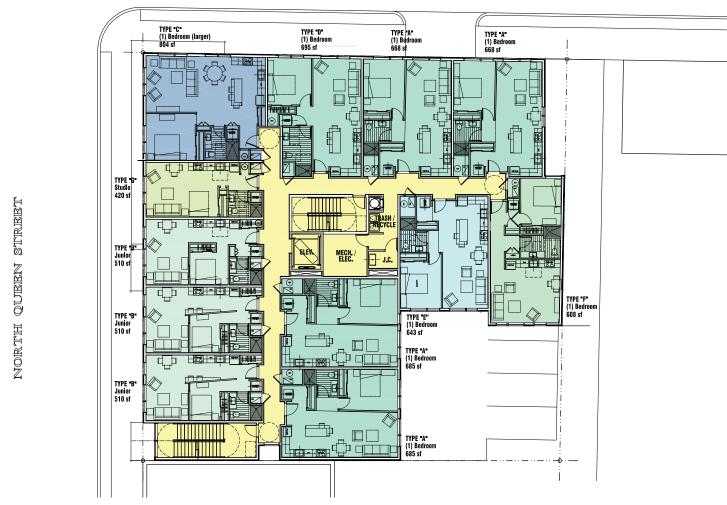


TIPPETTS/WEAVER architects

Conceptual Studies: First Floor Plan Scale: 1/10 = 1'-0' 6 April 2022

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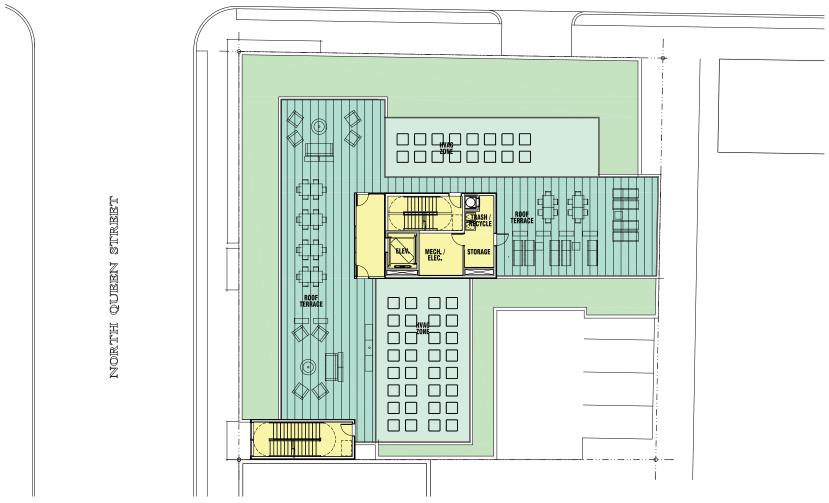
EAST LEMON STREET



EAST LEMON STREET

TIPPETTS/WEAVER architects

Conceptual Studies: Second - Seventh Floor Plan Scale: 1/10" = 1-0" 6 April 2022



EAST LEMON STREET

proposed new building: **347 NORTH QUEEN** 347 N. QUEEN STREET, LANCASTER, PENNSYLVANIA TIPPETTS/WEAVER architects

Conceptual Studies: Roof Plan Scale: 1/16" = 1'-0" 6 April 2022



TIPPETTS/WEAVER architects

Conceptual Studies: West Elevation along Queen Street $_{\text{Scale: }332^{\prime}=1^{\circ}0^{\prime}}$ 18 April 2022



Conceptual Studies: North Elevation along Lemon Street $_{\text{Scale: 332* = 1+0*}}$ 18 April 2022

TIPPETTS/WEAVER architects



TIPPETTS/WEAVER architects

Conceptual Studies: South Elevation Scale: 3/32*= 11-0* 18 April 2022



TIPPETTS/WEAVER architects

Conceptual Studies: East Elevation $_{\text{Scale: 3G2}=1\text{-C}}^{\text{Scale: 3G2}=1\text{-C}}$ 18 April 2022



Conceptual Studies: Perspective Rendering Reale: not to scale 18 April 2022 TIPPETTS/WEAVER architects CERTIFICATE OF ACCURACY (SURVEY)

I HEREBY CERTIFY THAT, TO THE BEST OF MY KNOWLEDGE, THE SURVEY AND PLAN SHOWN AND DESCRIBED HEREON IS TRUE AND CORRECT TO THE ACCURACY REQUIRED BY THE LANCASTER CITY SUBDIVISION AND LAND DEVELOPMENT ORDINANCE.

. 20 ____

CERTIFICATE OF PLAN ACCURACY

I HEREBY CERTIFY THAT, TO THE BEST OF MY KNOWLEDGE, THE PLAN SHOWN AND DESCRIBED HEREON IS TRUE AND CORRECT TO THE ACCURACY REQUIRED BY THE LANCASTER CITY SUBDIVISION AND LAND DEVELOPMENT ORDINANCE.

_,20____ CERTIFICATE OF ACCURACY FOR (STORM WATER MANAGEMENT)

I HEREBY CERTIFY THAT, TO THE BEST OF MY KNOWLEDGE, THE (STORM WATER MANAGEMENT FACILITIES OR OTHER PLAN DETAILS NOT COVERED BY THE CERTIFICATE OF PLAN ACCURACY) SHOWN AND DESCRIBED HEREON ARE DESIGNED IN CONFORMANCE WITH THE LANCASTER CITY SUBDIVISION AND LAND DEVELOPMENT ORDINANCE.



APPROVED BY THE LANCASTER CITY PLANNING COMMISSION THIS ____ DAY OF ____, 20____

CHAIRPERSON OR VICE-CHAIRPERSON

CERTIFICATE FOR LANCASTER CITY ENGINEER APPROVAL

APPROVED BY THE CITY ENGINEER THIS ____ DAY OF .____, 20____.

CITY ENGINEER

THE CITY OF LANCASTER STORMWATER MANAGEMENT SITE PLAN APPROVAL CERTIFICATION

, 20____, THE CITY OF LANCASTER APPROVED ON THIS DATE THIS PROJECT, AND ALL CONDITIONS HAVE BEEN MET. THIS APPROVAL INCLUDES THE COMPLETE SET OF PLANS AND INFORMATION THAT ARE FILED WITH THE CITY OF LANCASTER IN FILE NO. _, BASED UPON ITS CONFORMITY WITH THE STANDARDS OF THE CITY OF LANCASTER STORMWATER MANAGEMENT ORDINANCE.

CITY ENGINEER

CERTIFICATE FOR LANCASTER COUNTY PLANNING DEPARTMENT'S REVIEW CERTIFICATE

THIS PLAN, BEARING LCPC FILE NO .____, WAS REVIEWED BY STAFF OF THE LANCASTER COUNTY PLANNING DEPARTMENT ON _____ , AS REQUIRED BY THE PENNSYLVANIA MUNICIPALITIES PLANNING CODE, ACT 247, OF 1968, AS AMENDED. THIS CERTIFICATE DOES NOT REPRESENT NOR GUARANTEE THAT THIS PLAN COMPLIES WITH THE VARIOUS ORDINANCES, RULES, REGULATIONS, OR LAWS OF THE LOCAL MUNICIPALITY, THE COMMONWEALTH, OR THE FEDERAL GOVERNMENT.

SIGNATURE OF THE CHAIRPERSON OR THEIR DESIGNEE

CERTIFICATE OF BUSINESS OR CORPORATE OWNERSHIP AND ACKNOWLEDGMENT OF SUBDIVISION OR LAND DEVELOPMENT PLAN

COMMONWEALTH OF PENNSYLVANIA COUNTY OF LANCASTER

ON THIS THE _____DAY OF__ ___, 20__, BEFORE ME, THE UNDERSIGNED OFFICER, PERSONALLY APPEARED ____ Being

OF 347 NORTH QUEEEN STREET, LLC WHO BEING DULY SWORN ACCORDING TO THE LAW, DEPOSES AND SAYS THAT 347 NORTH QUEEEN STREET, LLC IS THE OWNER OR EQUITABLE OWNER OF THE PROPERTY SHOWN ON THIS PLAN, AND THAT THE PLAN IS THE ACT AND DEED OF THE 347 NORTH QUEEEN STREET, LLC, WHICH DESIRES THE SAME TO BE RECORDED AS SUCH ACCORDING TO LAW.

WITNESS MY HAND AND SEAL THE DAY AND DATE ABOVE WRITTEN

MY COMMISSION EXPIRES





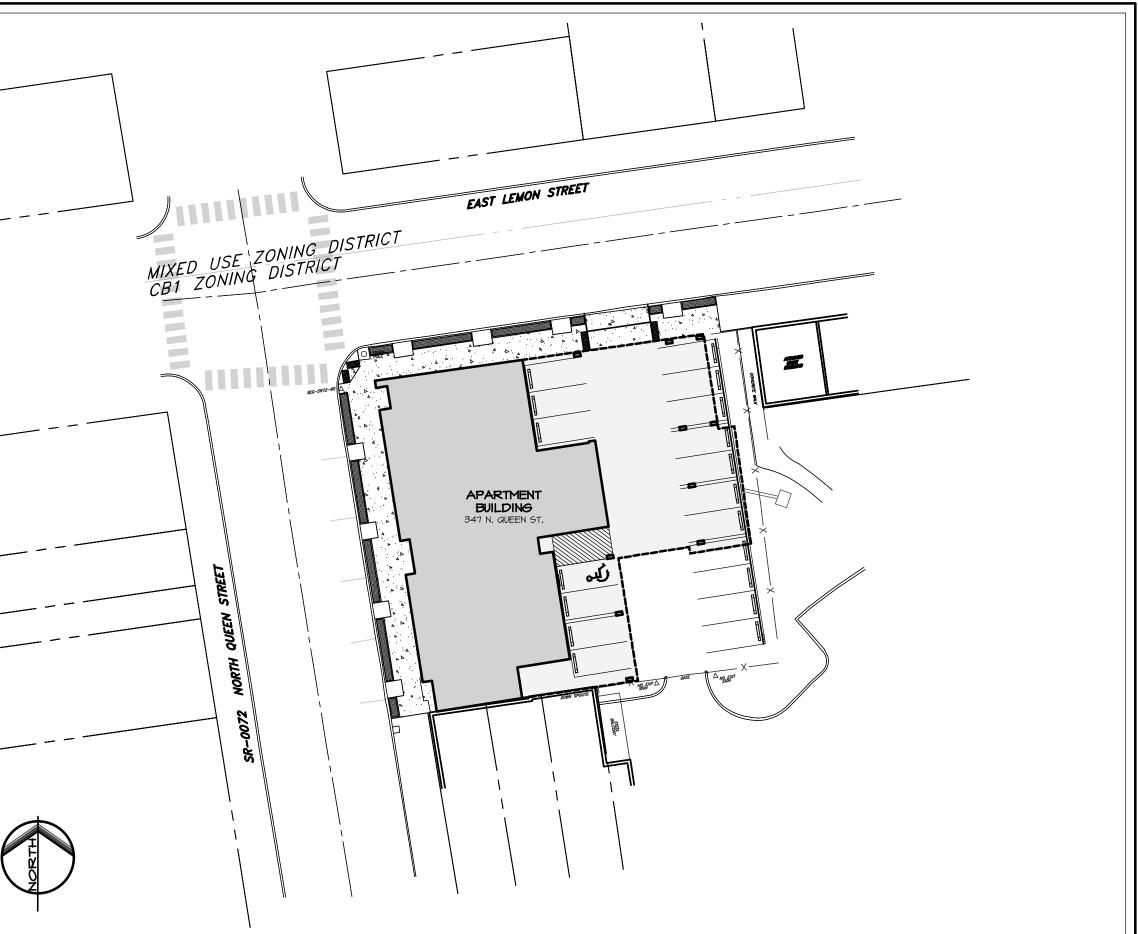
BICYCLE PARKING REQUIREMENTS					
SECTION 3: AMENDED §300-41.B PROPOSED REQU			REQUIRED BIKE PARKING		
MULTI-FAMILY	I PER EVERY 5 DWELLING UNITS OR FRACTION THEREOF	15	15 BASED ON 72 DWELLING UNITS		
	TOTAL:	15	15 REQUIRED BIKE SPACES		

RESIDENT PAR
PARKING IS NOT REQUIRED IN CBI DISTRICT, BUT IS PROVIDED FO
PROPOSING 18 PARKING SPACES (INCLUDING I VAN ADA SPACE)

SKETCH PLAN

FOR 347 NORTH QUEEN STREET

CITY OF LANCASTER - LANCASTER COUNTY - PENNSYLVANIA



PARKING PROVIDED	
ROVIDED FOR CONVENIENCE OF THE RESIDENTS OF THE BUILDING.	

SITE DATA

EXISTING LAND USE: PROPOSED NUMBER OF LOTS: PROPOSED USES:

PROPOSED STREET TREES:

PROPOSED LIMIT OF EARTH DISTURBANCE: EXISTING IMPERVIOUS: PROPOSED IMPERVIOUS:

GROSS LOT AREA: RESIDENTIAL UNITS:

DENSITY OF DWELLING UNITS/ACRE: PREVIOUS EXISTING LOT COVERAGE: PREVIOUS EXISTING OPEN SPACE: PROPOSED LOT COVERAGE:

PROPOSED OPEN SPACE: PREVIOUS EXISTING BUILDING COVERAGE: 0% PROPOSED BUILDING COVERAGE:

PROPOSED BUILDING HEIGHT: SANITARY SEWER: WATER:

ZONING DATA

ZONING DISTRICT: CBI - CENTRAL BUSINESS CORE DISTRICT

SURFACE PARKING

MIXED-USE (COMMERCIAL & APARTMENTS)

0.26 ACRES (11,288.5 S.F.)

0.21 ACRES (9,148 S.F.)

0.26 ACRES (11,288 S.F)

0.26 ACRES (11,288 S.F.)

277 DU/ACRE

75' (7-STORIES)

80.77%

19.23%

84.22%

PUBLIC

PUBLIC

100%

0%

AREA & YARD REQUIREMENTS MINIMUM LOT AREA: MINIMUM LOT WIDTH: MINIMUM LOT DEPTH: MAXIMUM LOT COVERAGE: MAXIMUM BUILDING COVERAGE: MAXIMUM BUILDING HEIGHT: MINIMUM BUILDING SETBACK: FRONT: SIDE: REAR: PARKING:

O SQUARE FEET O FEET O FEET 100% 100% 150 FEET

O FEET O FEET O FEET NOT REQUIRED

OWNER

347 NORTH QUEEN STREET, LLC

PROJECT SITE ADDRESS 347 NORTH QUEEN STREET LANCASTER, PA

SURVEYOR OF RECORD

DC GOHN ASSOCIATES, INC. 32 MOUNT JOY STREET PO BOX 128 MOUNT JOY, PA 17552

SOURCE OF TITLE

347 NORTH QUEEN STREET, LLC

INST. #2011-0105-J TAX PARCEL: 336-62022-0-0000

LIST OF DRAWINGS

COVER SHEET	<i>O</i> F 5
EXISTING CONDITIONS PLAN 2	<i>O</i> F 5
LAYOUT PLAN	<i>O</i> F 5
GRADING & UTILITY PLAN 4	<i>O</i> F 5
LANDSCAPE PLAN	<i>O</i> F 5

romavin Lancaster Ce ANCASTER LOCATION MAP SCALE: |" = 2000'

WATERSHED

CONESTOGA RIVER - WWF - MF

LANDOWNER STORMWATER ACKNOWLEDGEMENT

THE LANDOWNER UNDERSTANDS THAT SINKHOLE RISKS HAVE BEEN IDENTIFIED BY THE GEOTECHNICAL PROFESSIONAL FOR THE PROPOSED STORMWATER MANAGEMENT SYSTEMS AS DESIGNED TO ACCOMMODATE THE PROPOSED IMPROVEMENTS. THE LANDOWNER ASSUMES ALL RESPONSIBILITY FOR ANY ADVERSI CONDITIONS THAT MAY DEVELOP AS A RESULT OF THEIR STORMWATER SYSTEMS (INCLUDING INFILTRATION SYSTEMS) IN A CARBONATE GEOLOGY AREA WITHIN THEIR PROPERTY. THE STORMWATER MANAGEMENT SYSTEMS MONITORED FOR PROPER PERFORMANCE AND A GEOTECHNICAL PROFESSIONAL SHALL BE CONSULTED FOR ANY ADVERSE SITUATIONS THAT MAY DEVELOF

OWNER(S

OWNER

LANDOWNER ACKNOWLEDGEMENT OF PERMANENCE OF STORMWATER FACILITIES

DATE

DATE

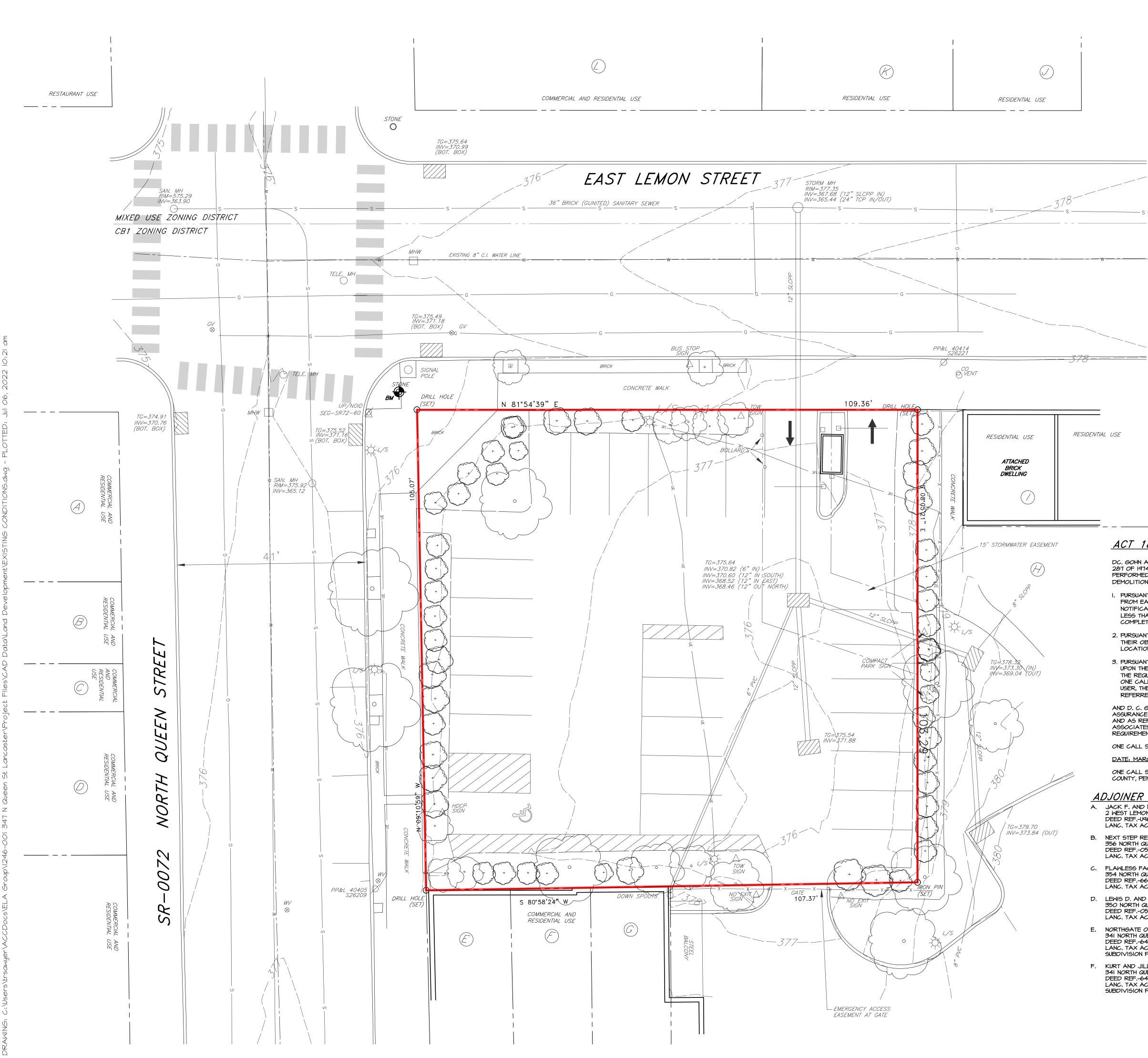
I (WE) THE UNDERSIGNED OWNER(S) OF THE REAL ESTATE SHOWN AND DESCRIBED HEREON, DO ACKNOWLEDGE THE STORMWATER MANAGEMENT FACILITIES SHOWN AND DESCRIBED HEREON ARE TO BE PERMANENT FIXTURES THAT CANNOT BE ALTERED OR REMOVED UNLESS A REVISED PLAN IS APPROVED BY THE CITY OF LANCASTER.

REVISIONS PER: DATE: BY: -743 S. BROAD ST. LITITZ, PA 17543 (717) 626-7271 elagroup.com group. inc. ENGINEERS + LANDSCAPE ARCHITECTS SKETCH PLAN SUBJECT: COVER SHEET 347 NORTH QUEEN STREET LANCASTER, PA 17603 CITY OF LANCASTER, LANCASTER COUNTY, PENNSYLVANIA CLIEN 347 NORTH QUEEN STREET, LLC OLOR PLANS FOR PLANNING **COMMISSION PRESENTATION** MANAGER: CLL DATE: JULY 6, 2022 CLL PROJECT NO. 1246-001 DESIGNER: DRAWN BY TRS SCALE: AS SHOWN

SHADE TREE COMMISSION APPROVAL HISTORIC COMMISSION RECOMMENDATION CITY COUNCIL CERTIFICATE OF APPROPRIATENESS TRAFFIC COMMISSION

_____ _____

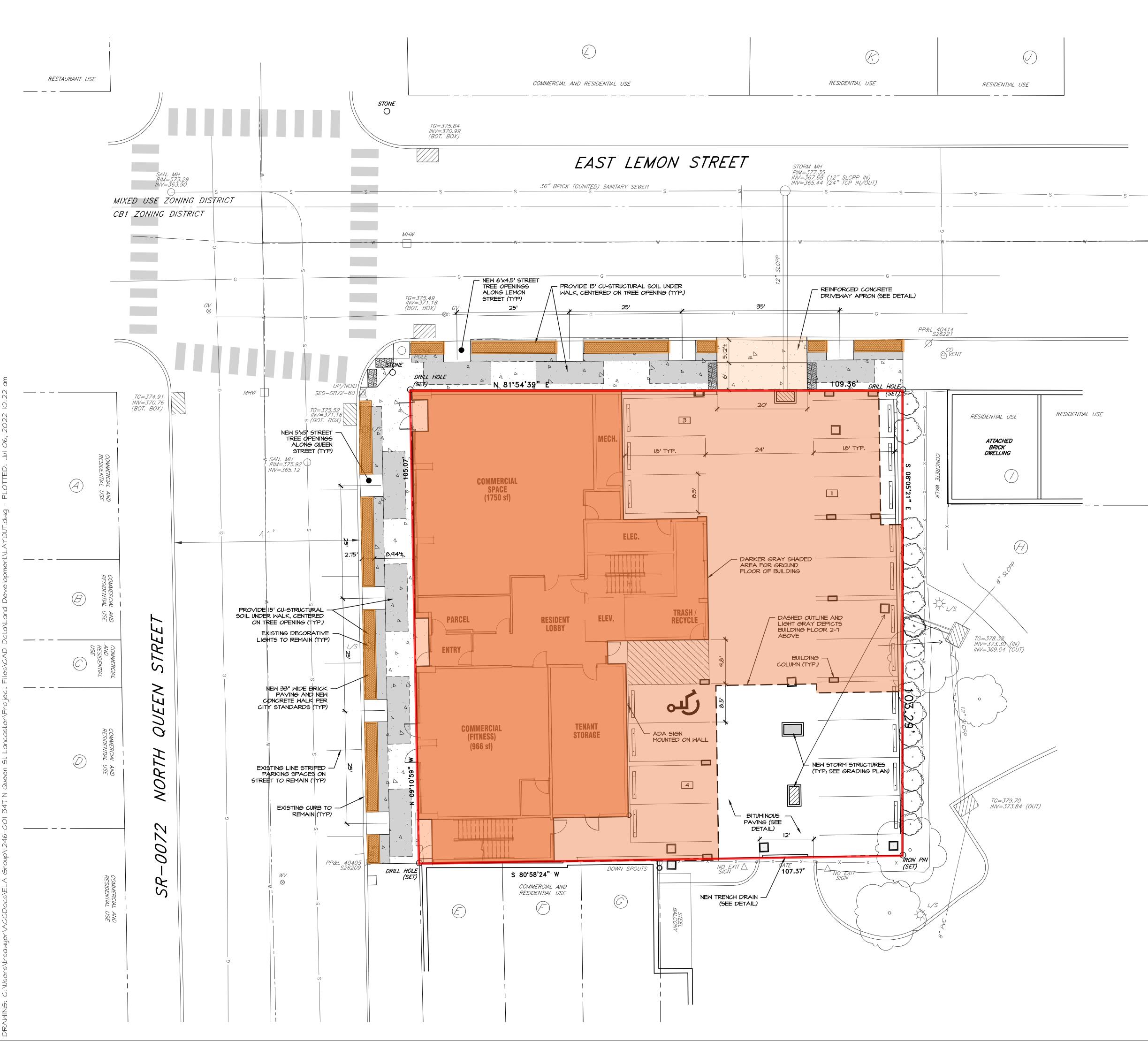
> DRAWING NO. Ο



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EXISTING LEGEND

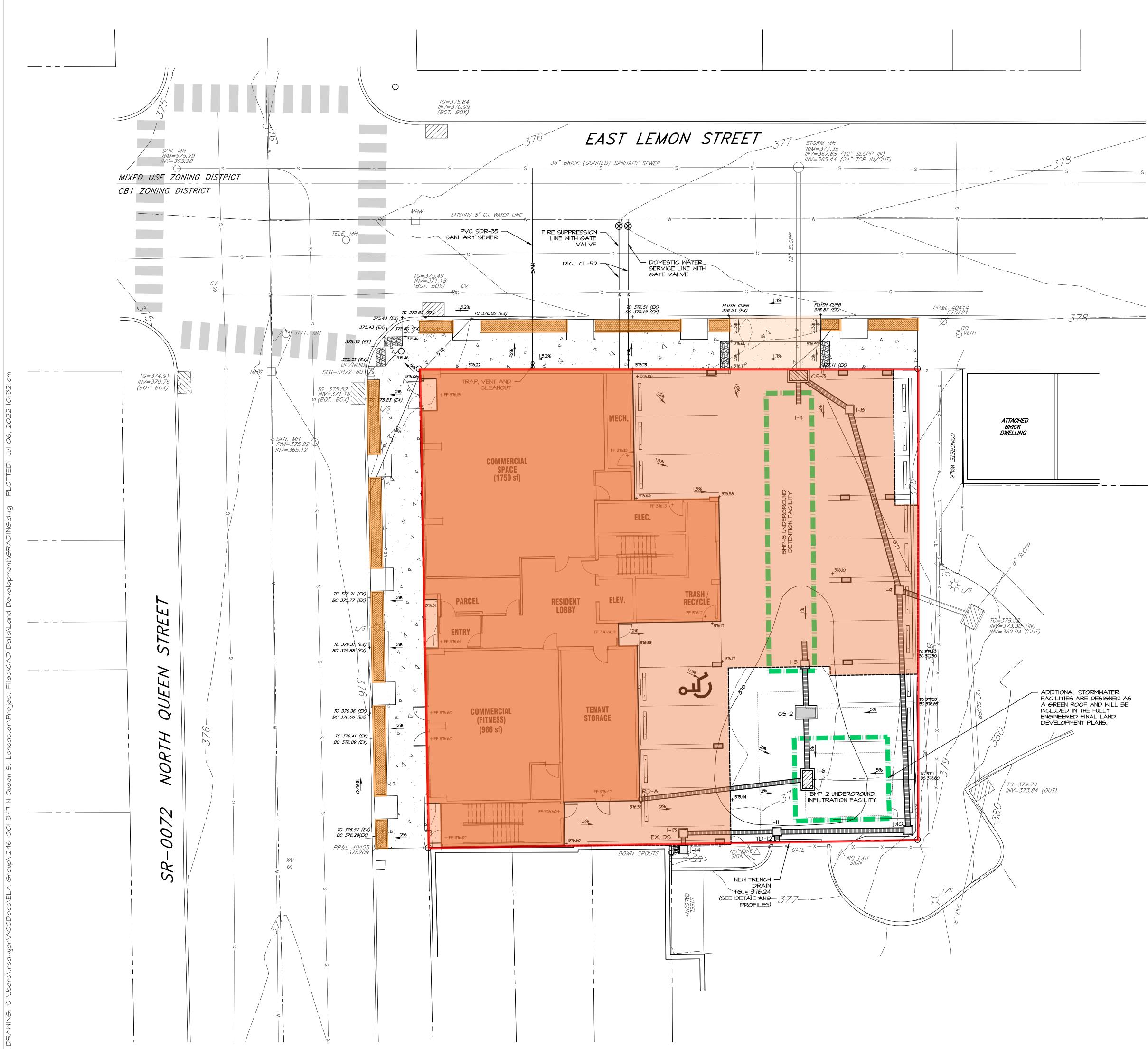
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<u>187 UNDERGROUND UTILITY PROTECTION</u> ASSOCIATES, INC. HEREBY STATES THAT, PURSUANT TO THE PROVISIO 174, AS AMENDED BY ACT 187 OF 1996, OF THE PENNSYLVANIA LEGISL IED THE FOLLOWING IN PREPARING THESE DRAWINGS REQUIRING EXCA ON WORK AT SITES WITHIN THE POLITICAL SUBDIVISION(S) SHOWN ON TH ANT TO SECTION 4, CLAUSE (2) OF SAID ACT, D. C. GOHN ASSOCIATES, EACH USER'S OFFICE DESIGNATED ON SUCH LIST PROVIDED BY THE OF CATION, THE INFORMATION PRESCRIBED BY SECTION 2, CLAUSE (4) OF HAN (10) NOR MORE THAN (90) WORKING DAYS BEFORE FINAL DESIGN	V ACT DNS OF ACT NO. ATURE, IT HAS VATION OR HE DRAWINGS: INC. REQUESTED NE CALL SYSTEM SAID ACT, NOT	/ SCALE IN FEET: I" = IO' SCALE IN FEET: I" = IO' 0 5 IO 20 REVISIONS PER: - - - - - - - - - - - - -	DATE: BY:
ETED. ANT TO SECTION 4, CLAUSE (5) OF SAID ACT, D. C. GOHN ASSOCIATES, OBLIGATIONS OF CLAUSE (2) BY CALLING THE ONE CALL SYSTEM SER TON WHERE EXCAVATION IS TO BE PERFORMED. ANT TO SECTION 4, CLAUSE (3) OF SAID ACT, D. C. GOHN ASSOCIATES, THESE DRAWINGS @THE POSITION AND TYPE OF EACH LINE, AS DERIVE QUEST MADE AS REQUIRED BY CLAUSE (2). THE SERIAL NUMBER PROT ALL SYSTEM, THE TOLL-FREE ON CALL SYSTEM PHONE NUMBER, AND TH THE USER'S DESIGNATED OFFICE ADDRESS AND PHONE NUMBER, AND TH RED TO IN SECTION 4, CLAUSE (5) OF SAID ACT. ^A . GOHN ASSOCIATES, INC. DOES NOT MAKE ANY REPRESENTATION, WAR CE OR GUARANTEE THAT THE INFORMATION RECEIVED PURSUANT TO SA REFLECTED ON THESE DRAWINGS IS CORRECT OR ACCURATE, BUT D. C TES, INC. IS REFLECTING SAID INFORMATION ON THESE DRAWINGS ONLY TENTS OF THE SAID ACT NO. 187 OF DECEMBER 19, 1996.	INC. HAS MET VING THE INC. HAS SHOWN D PURSUANT TO VIDED BY THE HE NAME OF THE OWN ON THE LIST RRANTY, AID REQUEST C. GOHN	BARENCE AND SCAPE	
- SYSTEM SERIAL NO. NOTIFICATION BY D. C. GOHN ASSOCIATES, INC. ARCH 3. 2022 - SYSTEM SERIAL NUMBER: 20220622389 - CITY OF LANCASTER, LAN PENNSYLVANIA PENNSYLVANIA PENNSYLVANIA PED REF. (C) NANCY L. SEGRO ION STREET U46/361 ACCT. # 339-46305-0-0000 ACCT. # 339-46304-0-0000 FACADE LLC QUEEN STREET C5403601 ACCT. # 339-46590-0-0000 FACADE LLC QUEEN STREET QUEEN STREET QUEN ST	EN WENGER ET, SUITE C 5-70094-1-0003 K: 2012-0170-J CONDOMINIUM ASSOC. 5-70094-0-0000 K 2011-0198-J 5-70094-1-0014 K 2011-0198-J	EXISTING CONDI 347 NORTH QUEEN LANCASTER, PA CITY OF LANCASTER, LANCASTER O CLIENT: 347 NORTH QUEEN LANCASTER, CLIENT: 347 NORTH QUEEN LANCASTER O CLIENT: 347 NORTH QUEEN	TIONS PLAN N STREET A 17603 COUNTY, PENNSYLVANIA
RUEEN STREET, UNIT 2 64I6226 ACCT. # 336-70094-I-0002 N PLAN BOOK: 20I2-0I70-J N PLAN BOOK: 20I2-0I70-J L. BKOONER LLC 40I NORTH QUEEN ST DEED REF0580II46 LANC. TAX ACCT. # 336 SUBDIVISION PLAN BOO	-58348-0-0000	MANAGER: CLL DAT DESIGNER: CLL PRO DRAWN BY: TRS SCA DRAWING N DRAWING N	DJECT NO. 1246-001 ALE: 1" = 10'



	R		
MERCIAL AND RESIDENTIAL USE	RESIDENTIAL USE	RESIDENTIAL USE	

	TLEGEND PROPERTY LINE EASEMENT LINE CENTERLINE RIGHT OF WAY LINE BUILDING SETBACK LINE X
	PROPOSED STORMWATER BASIN
PROPOSED SANITAR PROPOSED STORM I Compared Storm I PARKING	
	THE REAL
	SCALE IN FEET: $ '' = O'$ 0 5 10 20 30
	REVISIONS PER: DATE: BY: 1. - - - 2. - - - 3. - - - 4. - - - 5. - - -
	T43 S. BROAD ST. LITITZ, PA 17543 (717) 626-7271 elagroup.com BIOUD, INC. ENGINEERS + LANDSCAPE ARCHITECTS
	REGISTERED PROFESSIONAL ELIZABETH WERNER BALDWIN ENGINEER PEOBO726
	SKETCH PLAN SUBJECT:
	SITE LAYOUT PLAN 347 NORTH QUEEN STREET LANCASTER, PA 17603 CITY OF LANCASTER, LANCASTER COUNTY, PENNSYLVANIA CLIENT: 347 NORTH QUEEN STREET, LLC - - -

- s -----



GRADING LEGEND

	PROPOSED CONTOUR EXISTING CONTOUR
Endwall Rip Rap	EXISTING STORM DRAINAGE PIPING
	PROPOSED STORM DRAINAGE PIPING

EXISTING OVERHEAD ELECTRIC EXISTING UNDERGROUND ELECTRIC EXISTING UNDERGROUND TELEPHONE EXISTING GAS LINE

EXISTING SANITARY SEWER LINE EXISTING SANITARY FORCE MAIN EXISTING WATER LINE

× 354.05 EXISTING SPOT GRADE + 352.50 PROPOSED SPOT GRADE 5% SLOPE GRADIENT AND DIRECTION

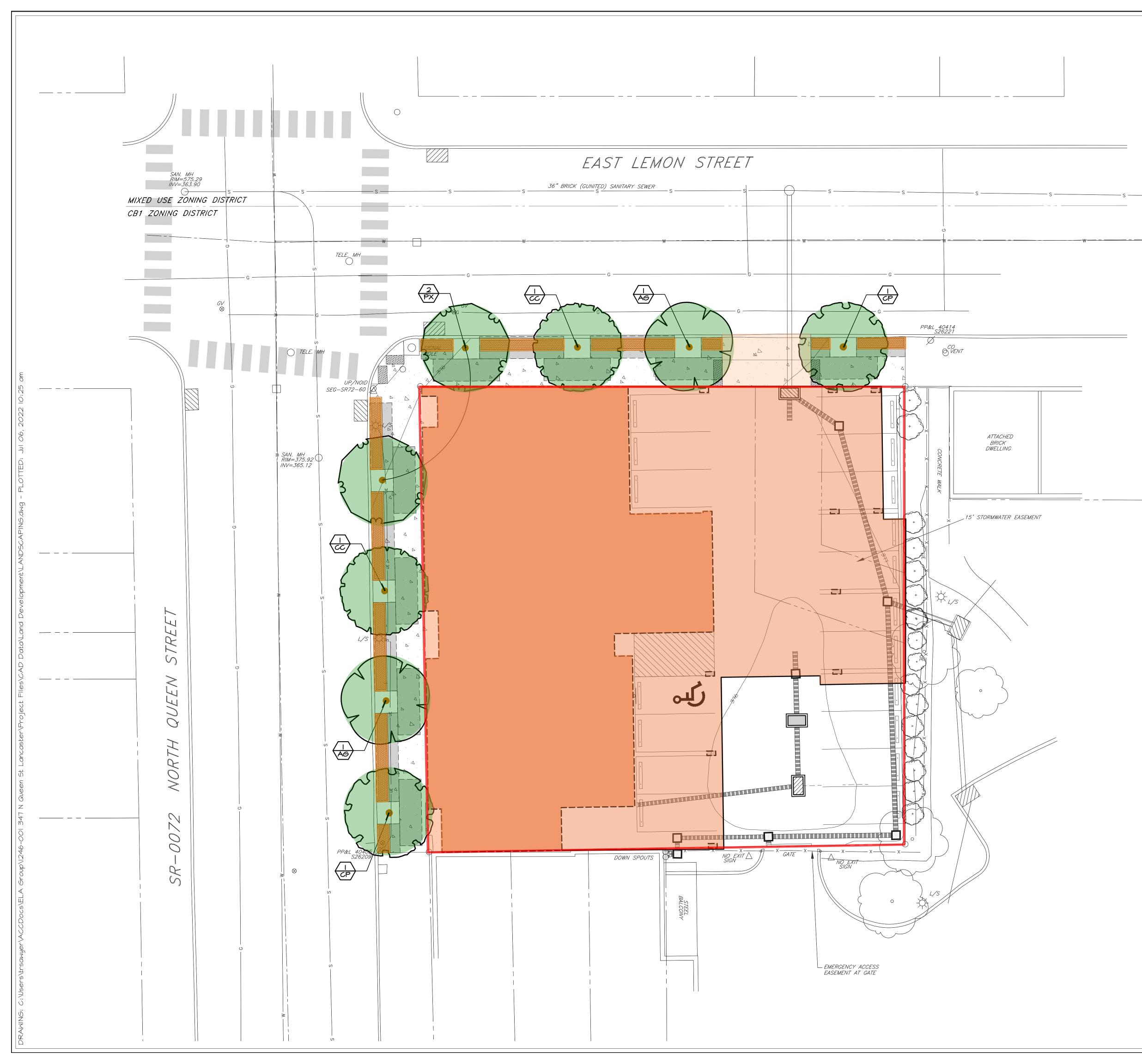
SCALE IN FEET: I" = IO' REVISIONS PER: ---5. -743 S. BROAD ST. LITITZ, PA 17543 (717) 626-7271 elagroup.com <u>group, 1nc.</u> ENGINEERS + LANDSCAPE ARCHITECTS



Headwall D Manhole	Inlet Endwall Rip Rap
HEADWALL MANHOLE	INLET ENDWALL RIP RAP
	Electric Meter
UE-	Electric Transformer
GV GV GV GV GV GC GC GC GC GC GC GC GC GC GC	Manhole T Telephone T GM Box
Gas Valve C. O. Clean Out	S Manhole
FM-	S Manhole
WM Water Meter 🛇 — W —	Water Valve

DATE: BY:





PLA	×NT	SCHEDULE				
<u>TREES</u> AG	<u>QTY</u> 2	<u>BOTANICAL NAME</u> Amelanchier × grandiflora 'Robin Hill'	<u>COMMON NAME</u> Robin Hill Apple Serviceberry	<u> 5 ZE</u> 2"- 2 /2" Cal.	<u>CONTAINER</u> B&B	<u>REMARKS</u> NATIVE
cc	2	Carpinus caroliniana	American Hornbeam	2"- 2 I/2" Cal.	B¢B	NATIVE
CP	2	Crataegus phaenopyrum	Washington Hawthorn	2"- 2 1/2" cal.	B¢B	NATIVE
PX	2	Prunus x hillieri 'Spire'	Spire Cherry	2"- 2 1/2" Cal.	B¢B	

_____ _ _ ____ w ______

TOTAL PROPERTY FRONTAGE / REQUIRED STREET TREES					
STREET NAME	FRONTAGE DISTANCE	REQUIREMENT	CALCULATION	FEE IN LIEU OF STREET TREES	
QUEEN STREET	105.07'	I STREET TREE REQUIRED	214.43 DIVIDED BY 25 =		
LEMON STREET	109.36'	PER 25' OF FRONTAGE	9 TREES REQUIRED		
TOTAL FRONTAGE	214.43'	STREET TREES PROVIDED	8 TREES PROVIDED	I	

NOTES

I. STRUCTURAL SOIL TO EXTEND 10' BEYOND EACH TREE PIT BEHIND CURB UNDER BRICK PAVER BAND, AS WELL AS 5' UNDER CONCRETE WALK FROM SIDE OF TREE PIT.

 ALL PERTINENT LANDSCAPE NOTES COVERING CONTRACTOR NOTES, SOIL PREPARATION, MULCH, PLANT STANDARDS AND PLANT GUARANTEE, PLANTING DETAILS, AND SO ON, WILL BE PROVIDED ON THE FINAL LAND DEVELOPMENT PLANS SUBMITTED FOLLOWING THIS SKETCH PLAN PROCESS.

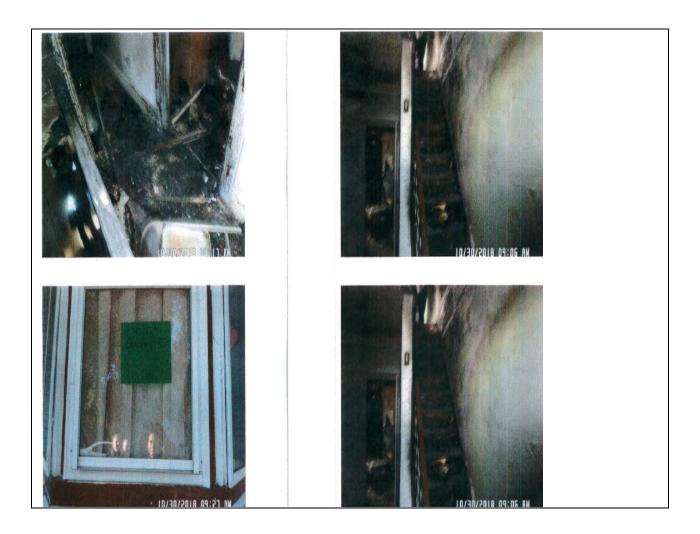


		-	
MANAGER:	CLL	DATE:	JULY 6, 2022
DESIGNER:	CLL	PROJECT NO	. 1246-001
DRAWN BY:	TRS	SCALE:	1" = 10'
		ng NO.	

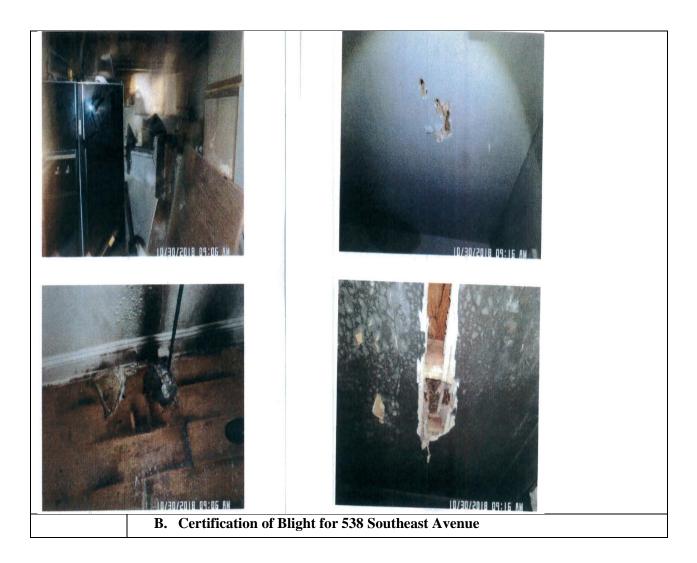


. Redevelopment Authority of City of Lancaster (RACL)		
	A. Certification of Blight for 538 Southeast Avenue	
	MEMORANDUM	
To: From: Date:	Planning Commission Zaritzia Burgos, Property Reinvestment Board Secretary July 15, 2022	
Subject:	Updates from the Property Reinvestment Board	
declared cc property w and a poter stopped. In eligible wa was issued was no act submitted a and was gr would be f Mr. King F	east Avenue: This property was owned by Nathaniel Wright when the property was ondemned. It was then purchased by Stonehedge Holdings, LLC, Jacob King in 2020. The as condemned in October 2018. The property was brought to the LPRB in January 2020 titially eligible letter was issued. Due to the pandemic, all actions against the property were n March of 2021 we received notification there was a new owner and a letter of potentially is sent to the new owner, Stonehedge Holdings, LLC, Jacob King. In April 2021, a letter to Mr. King by building codes to advise the owner on what needed done for permits, there ion or contact from Mr. King. A notice of blight was issued in September 2021. Mr. King an appeal and was sent a letter to appear before Housing Board of Appeals in October 2021 anted the appeal. Mr. King submitted a rehab plan and signed a rehab agreement stating he inished with the job in February 2022, he later requested an extension until April 2022. Las not appeared to any of the other meetings to provide an update nor has Mr. King called ng permits to continue work.	











MEMORANDUM

To:	Planning Commission
From:	Zaritzia Burgos, Property Reinvestment Board Secretary
Date:	August 1, 2022
From: Date: Subject:	Updates from the Property Reinvestment Board

1. 502-506 W. Walnut Street: This property is owned by Koyukon LP. The property was condemned on August 17, 2021. The property was brought to the Lancaster Property Reinvestment Board in November 2021 and a potentially eligible letter was issued on November 15, 2021. There had only been one permit on file for "slate roof repair" in October 2021. The property was declared Blight and letters sent to the owner on December 14, 2021. On January 4, 2022, an email was sent stating Mr. Eric Corsini was interested in the property. On January 11, 2022, a deposit was provided for the housing board of appeal, but no appeal form was filled out. On February 1, 2022, an email went out looking for the status of the appeal form. The appeal was scheduled for March and then later rescheduled for April 21, 2022. The appeal was denied, and file is now forwarded to the Lancaster Planning Commission.

