
Planning Commission

Public Meeting Packet



CITY OF
LANCASTER



CITY OF LANCASTER **PLANNING**
COMMISSION
PUBLIC MEETING **AGENDA**

Meeting Agenda— Lancaster City Planning Commission

Wednesday, August 17, 2022

6:00 PM

City Council Chambers

City Hall Annex

120 North Duke Street, Lancaster City, Pennsylvania

1. Call to Order

2. Approval of Minutes of Meeting of the July 20, 2022 Meeting

3. Subdivision and Land Development

A- Planning Commission Waiver of preliminary plan application for PCAD Students Housing project at 223 N. Water Street.

MACK Engineering, Inc., has submitted a plan for converting the existing vacant Chameleon Club over to 43 individual bedroom student housing along with three classrooms and a 353sf of commercial space. There is a second floor 1,041 Sf addition on the south side of Water Street replacing the Chameleon Club roof deck. The sidewalk on Water Street will be replaced and a wheelchair lift added at the Prince Street

B- Sketch Plan presentation for 347 North Queen St. by ELA Group, Inc. and Tippetts/Weaver Architects

The developer proposes a Mixed-use Residential 7-story building that includes 72 residential units. The ground floor contains a 1,750 SF commercial space, a 966 SF Fitness area, and tenant storage. A total of 18 parking spaces (including 1 van ADA space) are provided for the residents.

4. Redevelopment Authority of City of Lancaster (RACL)

A- Certification of Blight for 538 Southeast Avenue

B- Certification of Blight for 502-506 W. Walnut St

5. Housing Subcommittee

6. Comprehensive Plan Update


Land-use Exercise for Downtown Quadrant.

7. Other Business

Election of new chairperson for the Planning Commission

8. Public Participation

9. Adjournment



CITY OF LANCASTER **PLANNING**
COMMISSION
AGENDA **DOCUMENTS**

3.	Subdivision and Land Development
	A. Planning Commission Waiver of preliminary plan application for PCAD Students Housing project at 223 N. Water Street.
<div data-bbox="527 462 954 646" data-label="Image"> </div> <p data-bbox="305 651 438 682">August 7, 2022</p> <p data-bbox="305 724 617 751">Lancaster City Planning Commission</p> <p data-bbox="305 766 690 793">Attn: Lancaster City Planning Commission</p> <p data-bbox="305 814 763 842">Re: 223 N. Water Street, PCAD Housing Narrative</p> <p data-bbox="337 863 430 890">Narrative:</p> <p data-bbox="337 911 1177 1052">a. The existing vacant Chameleon Club is being converted over to 43 individual bedroom student housing along with three classrooms and a 353sf of commercial space. There is a second floor 1,041 Sf addition on the south side of Water Street replacing the Chameleon Club roof deck. One new opening for the trash room door, windows and doors being replaced and a new roof installed. The sidewalk on Water Street will be replaced and a wheelchair lift added at the Prince Street entrance.</p> <p data-bbox="305 1094 451 1121">Very truly yours,</p> <p data-bbox="305 1142 560 1169">MACK ENGINEERING INC</p> <p data-bbox="305 1190 470 1218"><i>Matthew J. Mack</i></p> <p data-bbox="305 1239 487 1266">Matthew J. Mack, PE</p> <p data-bbox="305 1287 397 1314">cc: PCAD</p> <div data-bbox="389 1696 1112 1787" data-label="Text"> <p>CIVIL ENGINEERS, LAND PLANNERS & MUNICIPAL ENGINEERING SERVICES 429 BARBARA STREET LANDISVILLE, PA 17538 P: 717-990-8449</p> <p>P.O. BOX 88 BLANDON, PA 19510 E: mmack@mackengineering.net</p> </div>	
	B. Sketch Plan presentation for 347 North Queen St. by ELA Group, Inc. and Tippetts/Weaver Architects



Mr. Mandali Kejjo
City of Lancaster
120 North Duke Street
Lancaster, PA

August 14, 2022

Re: 347 North Queen Street Mixed Use Project
Sketch Plan – Project Narrative
City File #: N/A

Dear Mr. Kejjo:

The project site is currently a surface parking lot at the corner of North Queen/Lemon Streets. The majority of the property is square in shape and is 0.26 acres (11,288 SF) in size. The Project consists of:

- 7-Story Mixed Use Building with 72 Residential Units on Floors 2 through 7
- 1,750 SF Commercial/Retail Space (Corner North Queen/Lemon Streets)
- 966 SF Fitness Space (North Queen Street)
- Ground floor will also include the primary entrance door from Queen Street to a Package Room, Lobby of the Residential Units above, Tenant Storage, Mechanical Equipment Rooms, Trash/Recycle Room, and Elevator/Stairs.
- Although parking is not required by zoning, the Owner is providing 18 parking spaces (including 1 Van ADA Space) for the Residents. This parking area is located on the eastern portion of the site, with the access drive from Lemon Street. The residential floors extend over these parking spaces, providing protection from the elements. (The driveway is generally in the same location as the existing driveway to the existing surface parking area.)
- The building façade at ground level will extend along Lemon Street, as will a roll down garage door. These building elements and roll down garage door will screen the resident parking area from the public view from Lemon Street.
- Stormwater facilities are in process of detailed engineering for the Final Land Development Plan, and close coordination with the Project Team. These facilities include an underground infiltration area in the southeast corner of the site, additional underground stormwater facility, as well as a green roof.
- A portion of the roof will also provide outdoor space for the building residents.

Street Trees and Streetscape Improvements

We are seeking the removal of the 2 existing street trees along North Queen Street, as well as 2 very small trees along Lemon Street.

The project will provide a total of 8 New Street Trees, planted every 25' along North Queen Street and Lemon Street. New brick banding and sidewalks also be provided on both of these streets, meeting the City's standards.

We look forward to presenting the Sketch Plan of the project to the Planning Commission, and working through the detailed engineering of the Final Land Development Plans.

Other City Approvals

Below is a list of the other approvals that we will obtain from the City, concurrent with the Final Land Development Plan processing:

- Historic Commission "New Construction"
- Shade Tree Commission (Removal of 4 Trees, as well as 8 New Street Trees)
- Traffic Commission (Removal of Existing Driveway and Installation of New Driveway in Same Location.)

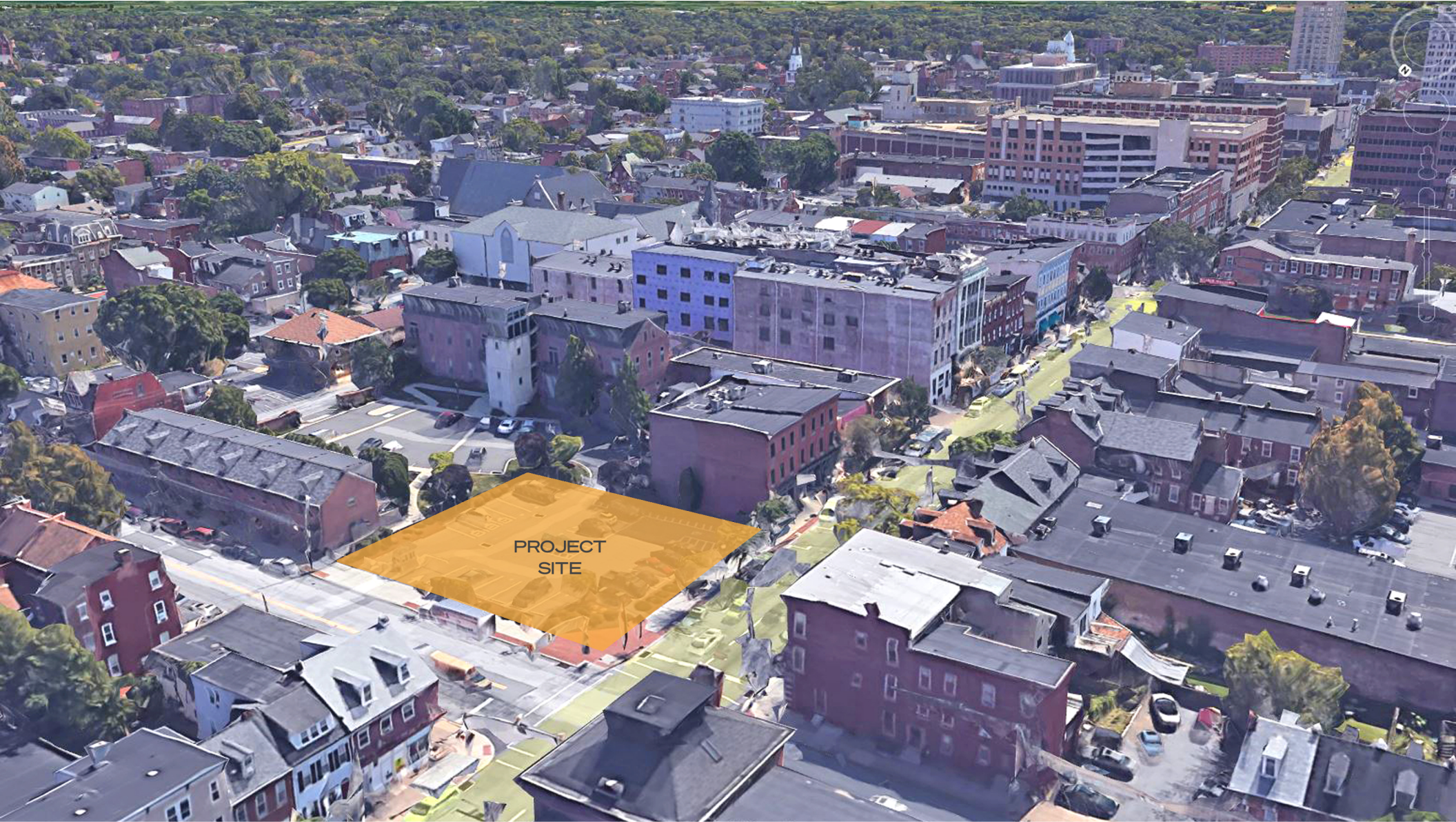
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Planning Commission Presentation

347 N. QUEEN STREET

Mixed Use Development | Lancaster, Pennsylvania

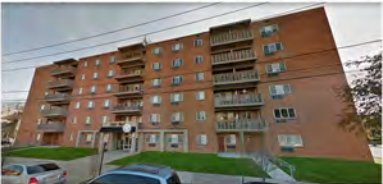
17 August 2022



ADJACENT BLOCKS AERIAL SITE PLAN



BUILDING SCALE CONTEXT VIEW: looking southeast



1 CITY VIEW APARTMENTS



2 KEPPEL BUILDING



3 CANDY FACTORY



4 LANCASTER HOUSE NORTH APTS & RUOFF TOWERS



5 LANCASTER PRESS

BUILDING SCALE CONTEXT VIEW: looking northeast towards Lancaster General Health



6 LGH PARKING GARAGE



7 LGH URGENT CARE OFFICES



8 LGH EMERGENCY ROOM ENTRY



9 LGH MAIN ENTRY



10 LGH OFFICES

EXISTING SITE PHOTOS: E. Lemon St. facing South



EXISTING SITE PHOTOS: N. Queen St. facing East





NORTH ELEVATION: EAST & WEST LEMON STREET PATTERN DIAGRAM

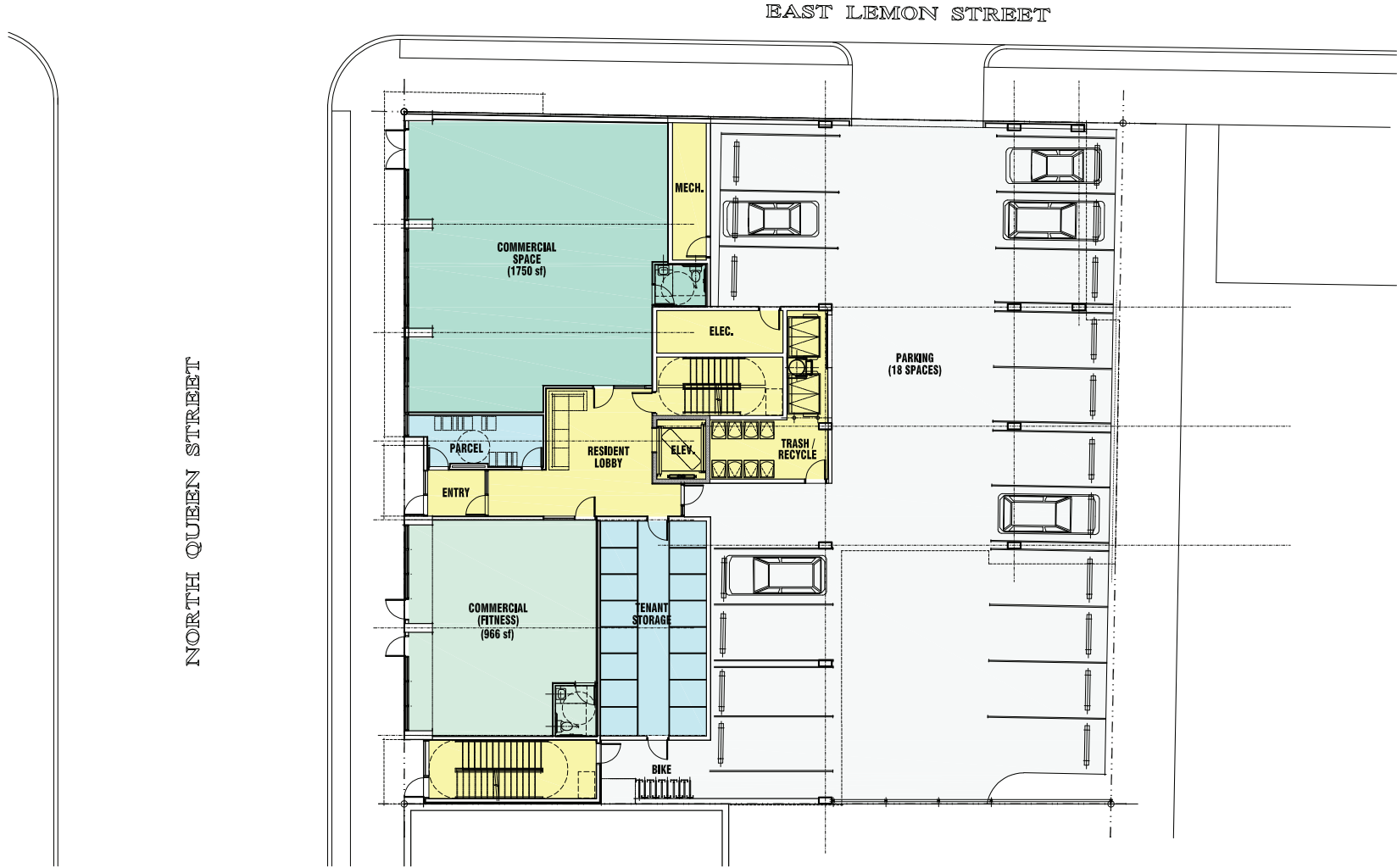


WEST ELEVATION: NORTH QUEEN STREET PATTERN DIAGRAM

STREET PATTERN DIAGRAMS
347 NORTH QUEEN
 347 N. QUEEN STREET, LANCASTER, PENNSYLVANIA

18 APRIL 2022

TIPPETTS/WEAVER
 architects



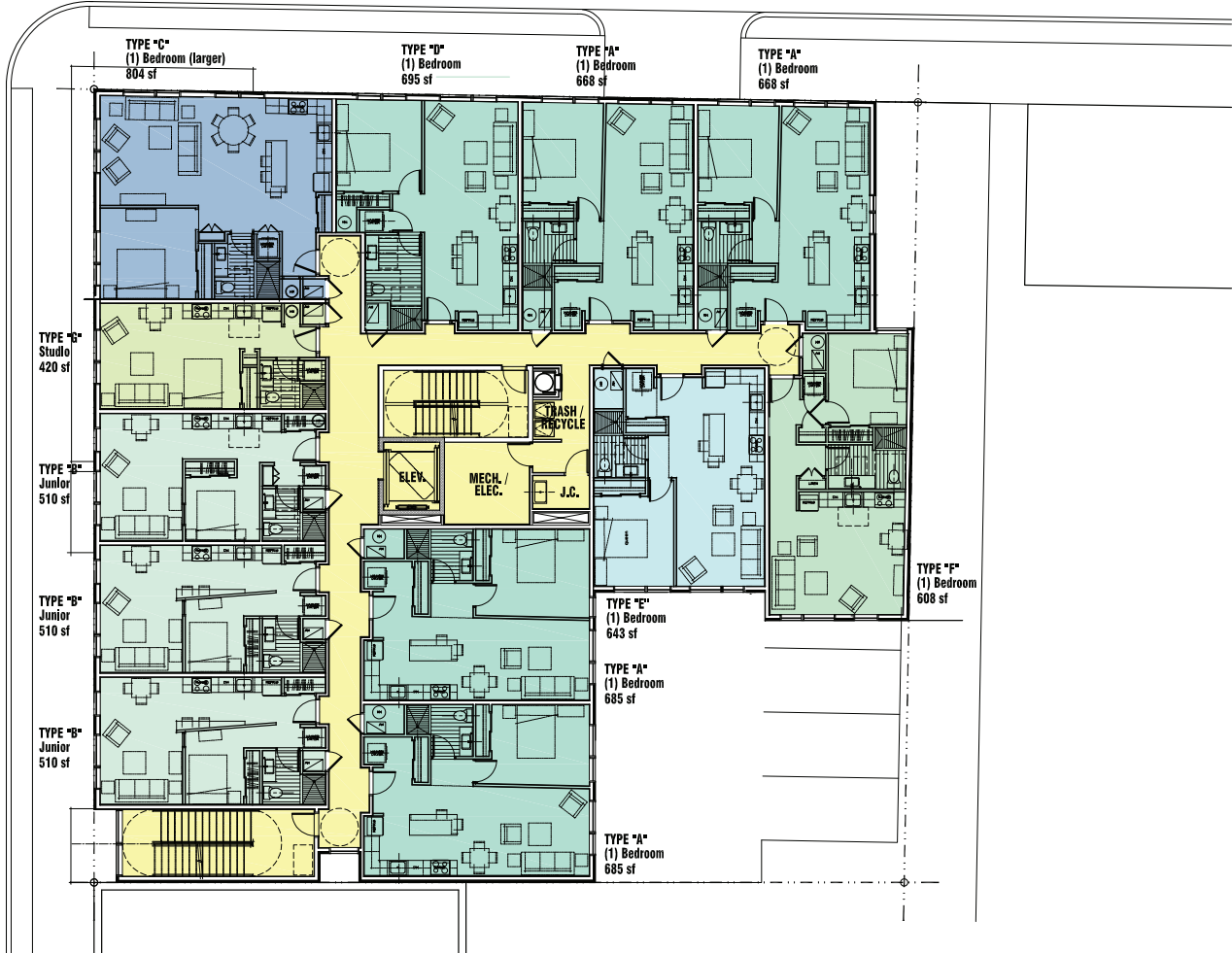
proposed new building:
347 NORTH QUEEN
 347 N. QUEEN STREET, LANCASTER, PENNSYLVANIA

Conceptual Studies: First Floor Plan
 Scale: 1/16" = 1'-0"
 6 April 2022

TIPPETTS/WEAVER
 architects

EAST LEMON STREET

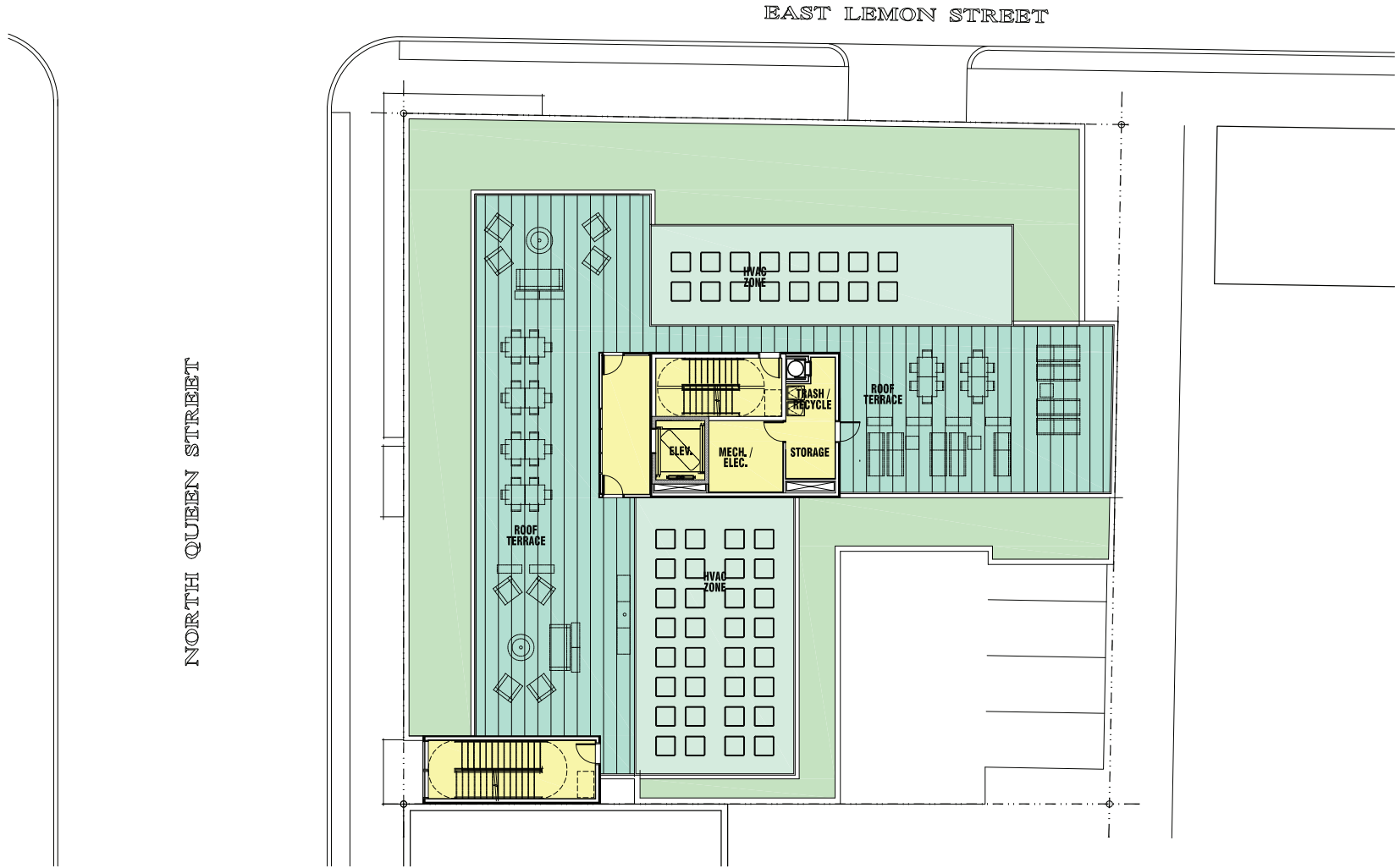
NORTH QUEEN STREET



proposed new building:
347 NORTH QUEEN
 347 N. QUEEN STREET, LANCASTER, PENNSYLVANIA

Conceptual Studies: Second - Seventh Floor Plan
 Scale: 1/16" = 1'-0"
 6 April 2022

TIPPETTS/WEAVER
 architects



proposed new building:
347 NORTH QUEEN
 347 N. QUEEN STREET, LANCASTER, PENNSYLVANIA

Conceptual Studies: Roof Plan
 Scale: 1/16" = 1'-0"
 6 April 2022

TIPPETTS/WEAVER
 architects



proposed new building:
347 NORTH QUEEN
 347 N. QUEEN STREET, LANCASTER, PENNSYLVANIA

Conceptual Studies: West Elevation along Queen Street
 Scale: 3/32" = 1'-0"
 18 April 2022

TIPPETTS/WEAVER
 architects



proposed new building:
347 NORTH QUEEN
 347 N. QUEEN STREET, LANCASTER, PENNSYLVANIA

Conceptual Studies: North Elevation along Lemon Street
 Scale: 3/32" = 1'-0"
 18 April 2022

TIPPETTS/WEAVER
 architects



proposed new building:
347 NORTH QUEEN
 347 N. QUEEN STREET, LANCASTER, PENNSYLVANIA

Conceptual Studies: South Elevation

Scale: 3/32" = 1'-0"
 18 April 2022

TIPPETTS/WEAVER
 architects



proposed new building:
347 NORTH QUEEN
 347 N. QUEEN STREET, LANCASTER, PENNSYLVANIA

Conceptual Studies: East Elevation

Scale: 3/32" = 1'-0"
 18 April 2022

TIPPETTS/WEAVER
 architects



proposed new building:
347 NORTH QUEEN
347 N. QUEEN STREET, LANCASTER, PENNSYLVANIA

Conceptual Studies: Perspective Rendering

Scale: not to scale
18 April 2022

TIPPETTS/WEAVER
architects

SKETCH PLAN

FOR 347 NORTH QUEEN STREET CITY OF LANCASTER - LANCASTER COUNTY - PENNSYLVANIA

CERTIFICATE OF ACCURACY (SURVEY)

I HEREBY CERTIFY THAT, TO THE BEST OF MY KNOWLEDGE, THE SURVEY AND PLAN SHOWN AND DESCRIBED HEREON IS TRUE AND CORRECT TO THE ACCURACY REQUIRED BY THE LANCASTER CITY SUBDIVISION AND LAND DEVELOPMENT ORDINANCE.

_____, 20____

CERTIFICATE OF PLAN ACCURACY

I HEREBY CERTIFY THAT, TO THE BEST OF MY KNOWLEDGE, THE PLAN SHOWN AND DESCRIBED HEREON IS TRUE AND CORRECT TO THE ACCURACY REQUIRED BY THE LANCASTER CITY SUBDIVISION AND LAND DEVELOPMENT ORDINANCE.

_____, 20____

CERTIFICATE OF ACCURACY FOR (STORM WATER MANAGEMENT)

I HEREBY CERTIFY THAT, TO THE BEST OF MY KNOWLEDGE, THE (STORM WATER MANAGEMENT FACILITIES OR OTHER PLAN DETAILS NOT COVERED BY THE CERTIFICATE OF PLAN ACCURACY) SHOWN AND DESCRIBED HEREON ARE DESIGNED IN CONFORMANCE WITH THE LANCASTER CITY SUBDIVISION AND LAND DEVELOPMENT ORDINANCE.

_____, 20____

CERTIFICATE FOR LANCASTER CITY PLANNING COMMISSION APPROVAL

APPROVED BY THE LANCASTER CITY PLANNING COMMISSION THIS _____ DAY OF _____, 20____.

CHAIRPERSON OR VICE-CHAIRPERSON _____

CERTIFICATE FOR LANCASTER CITY ENGINEER APPROVAL

APPROVED BY THE CITY ENGINEER THIS _____ DAY OF _____, 20____.

CITY ENGINEER _____

THE CITY OF LANCASTER STORMWATER MANAGEMENT SITE PLAN APPROVAL CERTIFICATION

ON THIS DATE _____, 20____, THE CITY OF LANCASTER APPROVED THIS PROJECT, AND ALL CONDITIONS HAVE BEEN MET. THIS APPROVAL INCLUDES THE COMPLETE SET OF PLANS AND INFORMATION THAT ARE FILED WITH THE CITY OF LANCASTER IN FILE NO. _____, BASED UPON ITS CONFORMITY WITH THE STANDARDS OF THE CITY OF LANCASTER STORMWATER MANAGEMENT ORDINANCE.

CITY ENGINEER _____

CERTIFICATE FOR LANCASTER COUNTY PLANNING DEPARTMENT'S REVIEW CERTIFICATE

THIS PLAN, BEARING LCPG FILE NO. _____, WAS REVIEWED BY STAFF OF THE LANCASTER COUNTY PLANNING DEPARTMENT ON _____, AS REQUIRED BY THE PENNSYLVANIA MUNICIPALITIES PLANNING CODE, ACT 247, OF 1968, AS AMENDED. THIS CERTIFICATE DOES NOT REPRESENT NOR GUARANTEE THAT THIS PLAN COMPLIES WITH THE VARIOUS ORDINANCES, RULES, REGULATIONS, OR LAWS OF THE LOCAL MUNICIPALITY, THE COMMONWEALTH, OR THE FEDERAL GOVERNMENT.

SIGNATURE OF THE CHAIRPERSON OR THEIR DESIGNEE _____

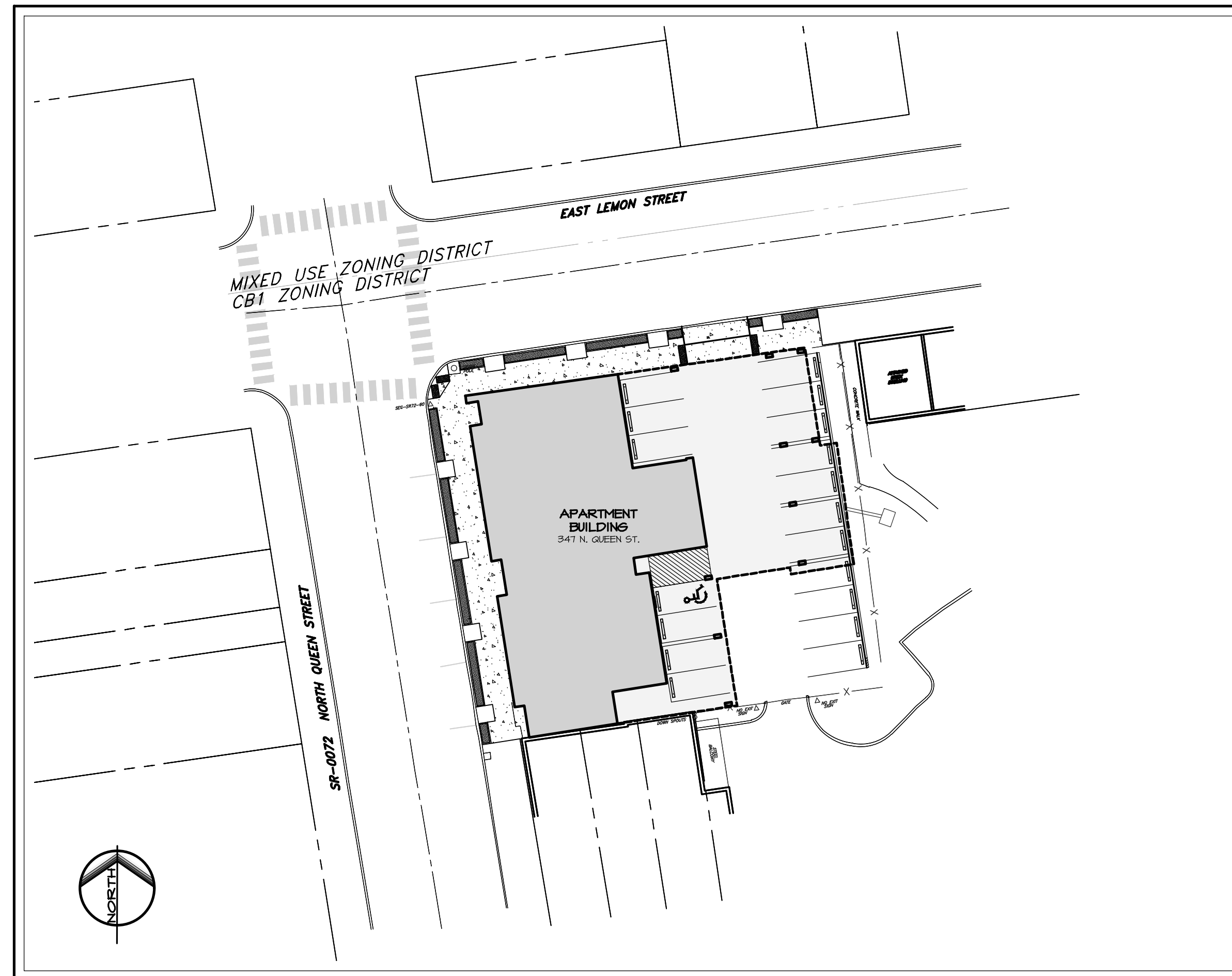
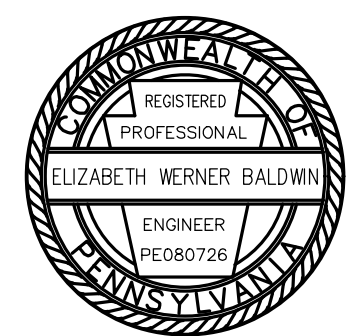
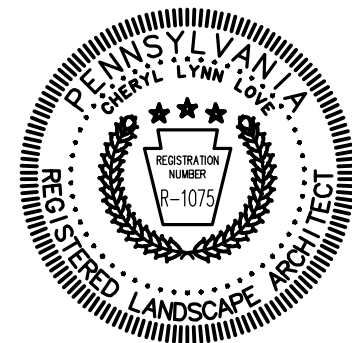
CERTIFICATE OF BUSINESS OR CORPORATE OWNERSHIP AND ACKNOWLEDGMENT OF SUBDIVISION OR LAND DEVELOPMENT PLAN

COMMONWEALTH OF PENNSYLVANIA
COUNTY OF LANCASTER

ON THIS THE _____ DAY OF _____, 20____, BEFORE ME, THE UNDERSIGNED OFFICER, PERSONALLY APPEARED _____ BEING THE _____ OF 347 NORTH QUEEN STREET, LLC WHO BEING DULY SWORN ACCORDING TO THE LAW, DEPOSES AND SAYS THAT 347 NORTH QUEEN STREET, LLC IS THE OWNER OR EQUITABLE OWNER OF THE PROPERTY SHOWN ON THIS PLAN, AND THAT THE PLAN IS THE ACT AND DEED OF THE 347 NORTH QUEEN STREET, LLC, WHICH DESIRES THE SAME TO BE RECORDED AS SUCH ACCORDING TO LAW.

WITNESS MY HAND AND SEAL THE DAY AND DATE ABOVE WRITTEN _____

MY COMMISSION EXPIRES _____, 20____.



BICYCLE PARKING REQUIREMENTS			
SECTION 3: AMENDED §300-41.B			
		PROPOSED	REQUIRED BIKE PARKING
MULTI-FAMILY	1 PER EVERY 5 DWELLING UNITS OR FRACTION THEREOF	15	15 BASED ON 72 DWELLING UNITS
	TOTAL	15	15 REQUIRED BIKE SPACES

RESIDENT PARKING PROVIDED	
PARKING IS NOT REQUIRED IN CBI DISTRICT, BUT IS PROVIDED FOR CONVENIENCE OF THE RESIDENTS OF THE BUILDING.	
PROPOSING 10 PARKING SPACES (INCLUDING 1 VAN ADA SPACE)	

SITE DATA

EXISTING LAND USE: PROPOSED NUMBER OF LOTS: PROPOSED USES: PROPOSED STREET TREES:	SURFACE PARKING MIXED-USE (COMMERCIAL & APARTMENTS)
PROPOSED LIMIT OF EARTH DISTURBANCE: EXISTING IMPERVIOUS: PROPOSED IMPERVIOUS:	0.26 ACRES (11,200 S.F.) 0.21 ACRES (9,140 S.F.) 0.26 ACRES (11,200 S.F.)
GROSS LOT AREA: RESIDENTIAL UNITS: DENSITY OF DWELLING UNITS/ACRE:	0.26 ACRES (11,200 S.F.) 72 277 DU/ACRE
PREVIOUS EXISTING LOT COVERAGE: PREVIOUS EXISTING OPEN SPACE: PROPOSED LOT COVERAGE: PROPOSED OPEN SPACE:	80.71% 14.23% 100% 0%
PREVIOUS EXISTING BUILDING COVERAGE: PROPOSED BUILDING COVERAGE: PROPOSED BUILDING HEIGHT:	0% 84.22% 15' (1-STORIES)
SANITARY SEWER: WATER:	PUBLIC PUBLIC

ZONING DATA

ZONING DISTRICT: CBI - CENTRAL BUSINESS CORE DISTRICT	
AREA & YARD REQUIREMENTS	
MINIMUM LOT AREA:	0 SQUARE FEET
MINIMUM LOT WIDTH:	0 FEET
MINIMUM LOT DEPTH:	0 FEET
MAXIMUM LOT COVERAGE:	100%
MAXIMUM BUILDING COVERAGE:	100%
MAXIMUM BUILDING HEIGHT:	150 FEET
MINIMUM BUILDING SETBACK:	
FRONT:	0 FEET
SIDE:	0 FEET
REAR:	0 FEET
PARKING:	NOT REQUIRED

OWNER

347 NORTH QUEEN STREET, LLC

PROJECT SITE ADDRESS

347 NORTH QUEEN STREET
LANCASTER, PA

SURVEYOR OF RECORD

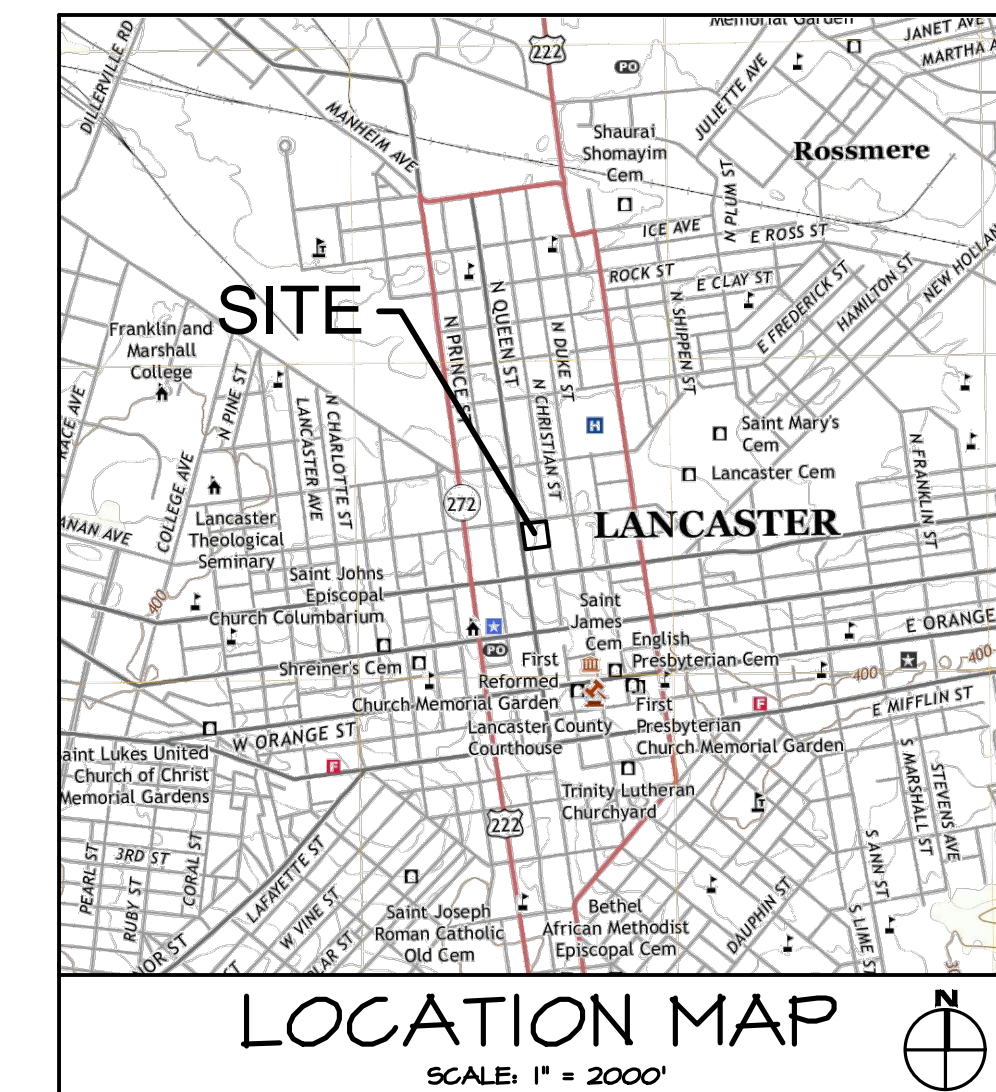
DC GOHN ASSOCIATES, INC.
32 MOUNT JOY STREET
PO BOX 128
MOUNT JOY, PA 17552

SOURCE OF TITLE

347 NORTH QUEEN STREET, LLC
INST. #2011-0105-J
TAX PARCEL: 336-62022-0-0000

LIST OF DRAWINGS

COVER SHEET	1 OF 5
EXISTING CONDITIONS PLAN	2 OF 5
LAYOUT PLAN	3 OF 5
GRADING & UTILITY PLAN	4 OF 5
LANDSCAPE PLAN	5 OF 5



WATERSHED

CONESTOGA RIVER - WWF - MF

LANDOWNER STORMWATER ACKNOWLEDGEMENT

THE LANDOWNER UNDERSTANDS THAT SINKHOLE RISKS HAVE BEEN IDENTIFIED BY THE GEOTECHNICAL PROFESSIONAL FOR THE PROPOSED STORMWATER MANAGEMENT SYSTEMS AS DESIGNED TO ACCOMMODATE THE PROPOSED IMPROVEMENTS. THE LANDOWNER ASSUMES ALL RESPONSIBILITY FOR ANY ADVERSE CONDITIONS THAT MAY DEVELOP AS A RESULT OF THEIR STORMWATER SYSTEMS (INCLUDING INFILTRATION SYSTEMS) IN A CARBONATE GEOLOGY AREA WITHIN THEIR PROPERTY. THE STORMWATER MANAGEMENT SYSTEMS MONITORED FOR PROPER PERFORMANCE AND A GEOTECHNICAL PROFESSIONAL SHALL BE CONSULTED FOR ANY ADVERSE SITUATIONS THAT MAY DEVELOP.

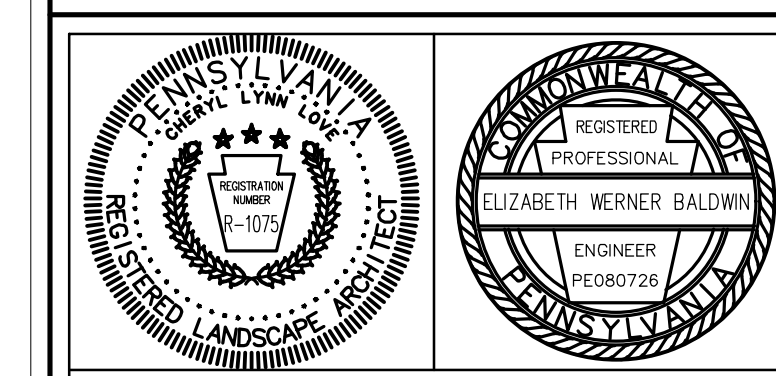
OWNER(S) _____ DATE _____

LANDOWNER ACKNOWLEDGEMENT OF PERMANENCE OF STORMWATER FACILITIES

I (WE) THE UNDERSIGNED OWNER(S) OF THE REAL ESTATE SHOWN AND DESCRIBED HEREON DO ACKNOWLEDGE THE STORMWATER MANAGEMENT FACILITIES SHOWN AND DESCRIBED HEREON ARE TO BE PERMANENT FIXTURES THAT CANNOT BE ALTERED OR REMOVED UNLESS A REVISED PLAN IS APPROVED BY THE CITY OF LANCASTER.

OWNER(S) _____ DATE _____

REVISIONS PER:	DATE:	BY:
1. -	-	-
2. -	-	-
3. -	-	-
4. -	-	-
5. -	-	-



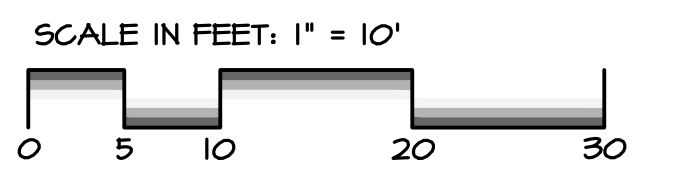
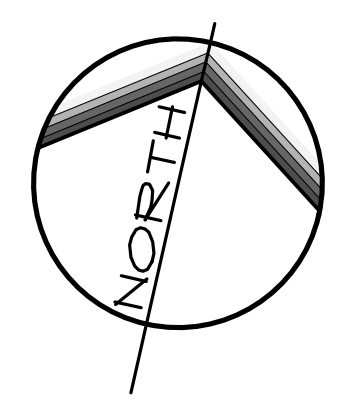
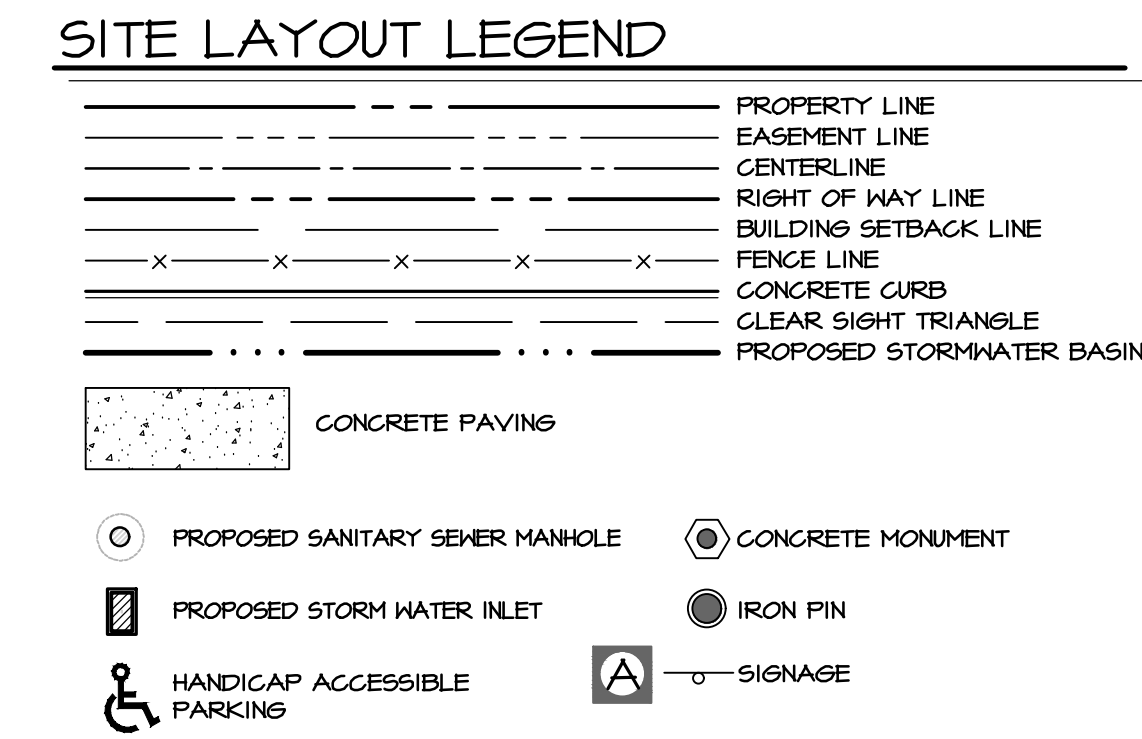
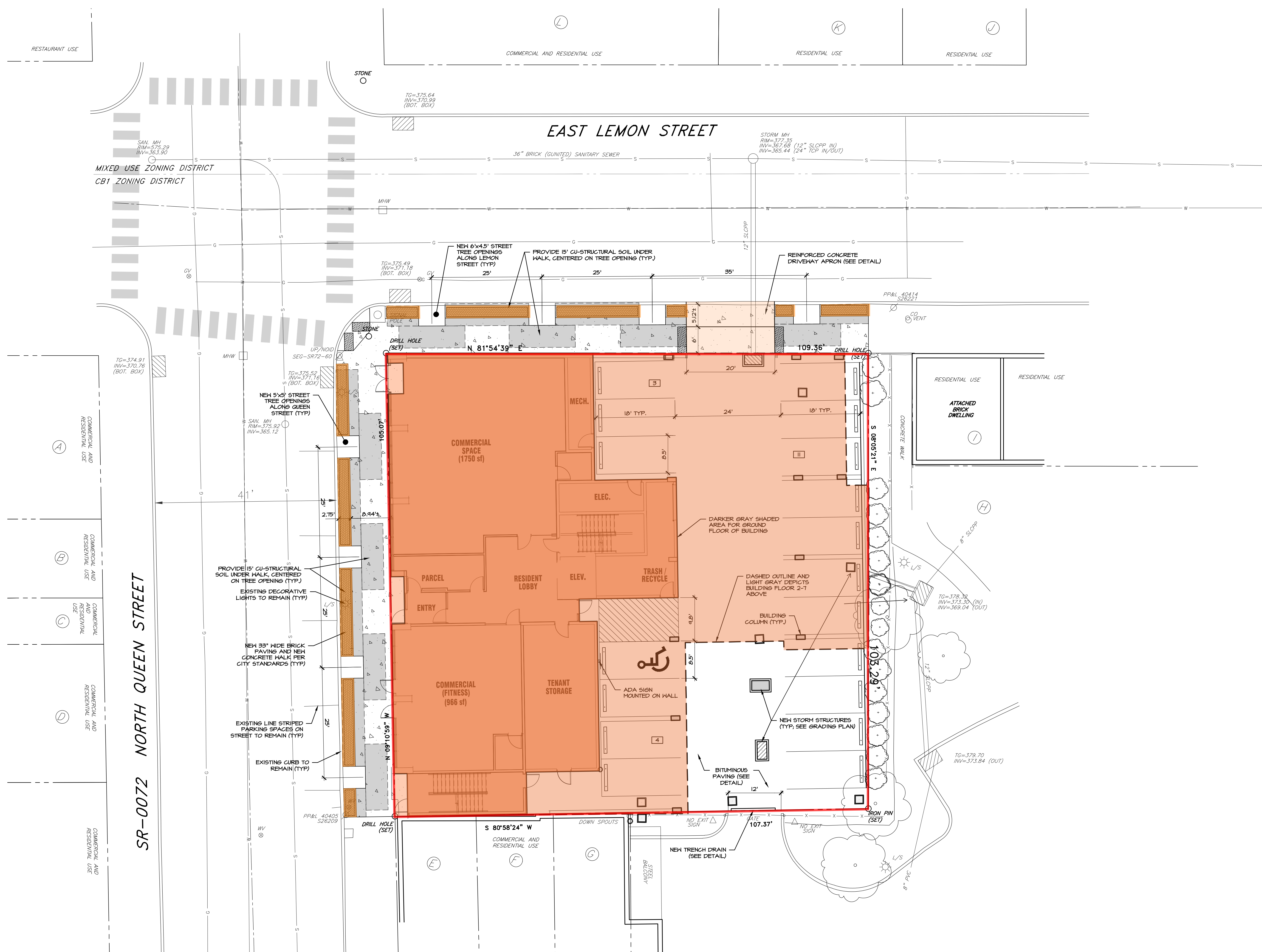
SKETCH PLAN
SUBJECT:
COVER SHEET
347 NORTH QUEEN STREET
LANCASTER, PA 17603
CITY OF LANCASTER, LANCASTER COUNTY, PENNSYLVANIA
CLIENT:
347 NORTH QUEEN STREET, LLC
COLOR PLANS FOR PLANNING COMMISSION PRESENTATION

MANAGER:	CLL	DATE:	JULY 6, 2022
DESIGNER:	CLL	PROJECT NO.:	1248-001
DRAWN BY:	TRS	SCALE:	AS SHOWN

DRAWING NO.
1 of 5

SHADE TREE COMMISSION APPROVAL _____
HISTORIC COMMISSION RECOMMENDATION _____
CITY COUNCIL CERTIFICATE OF APPROPRIATENESS _____
TRAFFIC COMMISSION _____

DRAWING: C:\Users\rsawyer\OneDrive\Documents\ELA_Group\1246-001_347 N Queen St Lancaster\Project Files\CAD Data\Land Development\Layout.dwg - PLOTTED: Jul 06, 2022 10:22 am



REVISIONS PER:	DATE:	BY:
1. -	-	-
2. -	-	-
3. -	-	-
4. -	-	-
5. -	-	-

743 S. BROAD ST.
LITITZ, PA 17543
(717) 626-7271
elagroup.com

EA
group, inc.
ENGINEERS + LANDSCAPE ARCHITECTS

SKETCH PLAN

SUBJECT:
SITE LAYOUT PLAN
347 NORTH QUEEN STREET
LANCASTER, PA 17603
CITY OF LANCASTER, LANCASTER COUNTY, PENNSYLVANIA

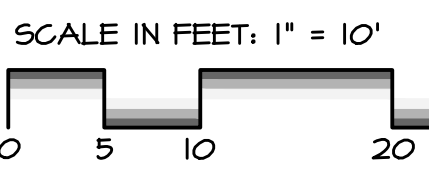
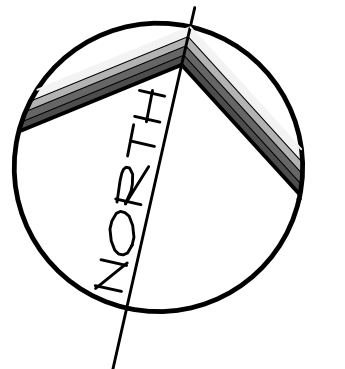
CLIENT:
347 NORTH QUEEN STREET, LLC

MANAGER:	CLL	DATE:	JULY 6, 2022
DESIGNER:	CLL	PROJECT NO.:	1246-001
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DRAWING NO.
3 of 5

GRADING LEGEND

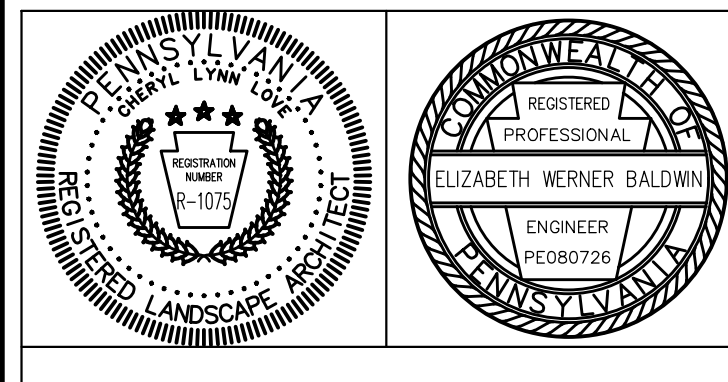
	PROPOSED CONTOUR
	EXISTING CONTOUR
	EXISTING STORM DRAINAGE PIPING
	PROPOSED STORM DRAINAGE PIPING
	EXISTING OVERHEAD ELECTRIC
	EXISTING UNDERGROUND ELECTRIC
	EXISTING UNDERGROUND TELEPHONE
	EXISTING GAS LINE
	EXISTING SANITARY SEWER LINE
	EXISTING SANITARY FORCE MAIN
	EXISTING WATER LINE
	EXISTING SPOT GRADE
	PROPOSED SPOT GRADE
	SLOPE GRADIENT AND DIRECTION



REVISIONS PER:	DATE:	BY:
1.	-	-
2.	-	-
3.	-	-
4.	-	-
5.	-	-

EVA
group, inc.
ENGINEERS + LANDSCAPE ARCHITECTS

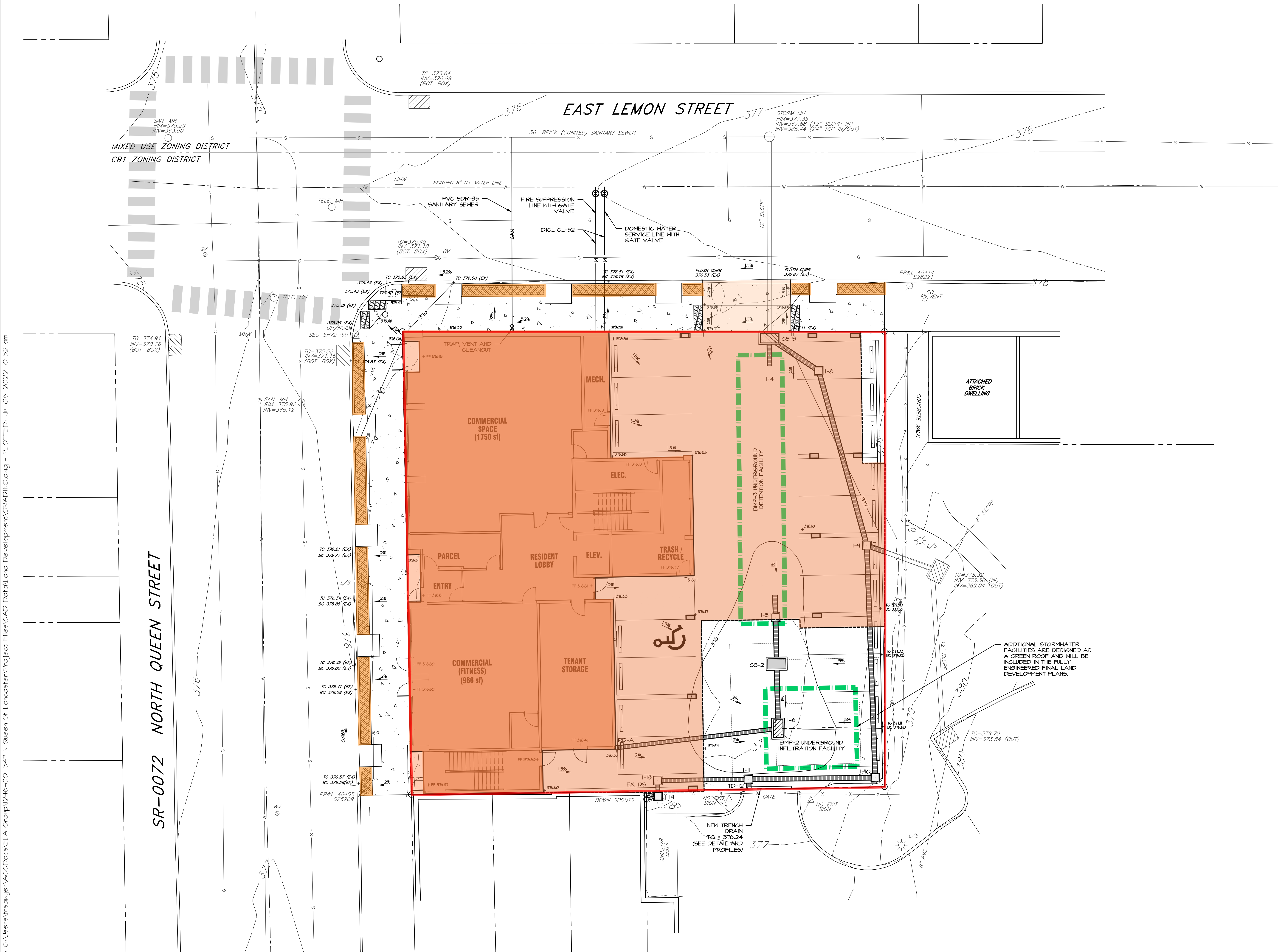
743 S. BROAD ST.
LITITZ, PA 17543
(717) 626-7271
elagroup.com



SKETCH PLAN
SUBJECT:
GRADING & UTILITY PLAN
347 NORTH QUEEN STREET
LANCASTER, PA 17603
CITY OF LANCASTER, LANCASTER COUNTY, PENNSYLVANIA
CLIENT:
347 NORTH QUEEN STREET, LLC

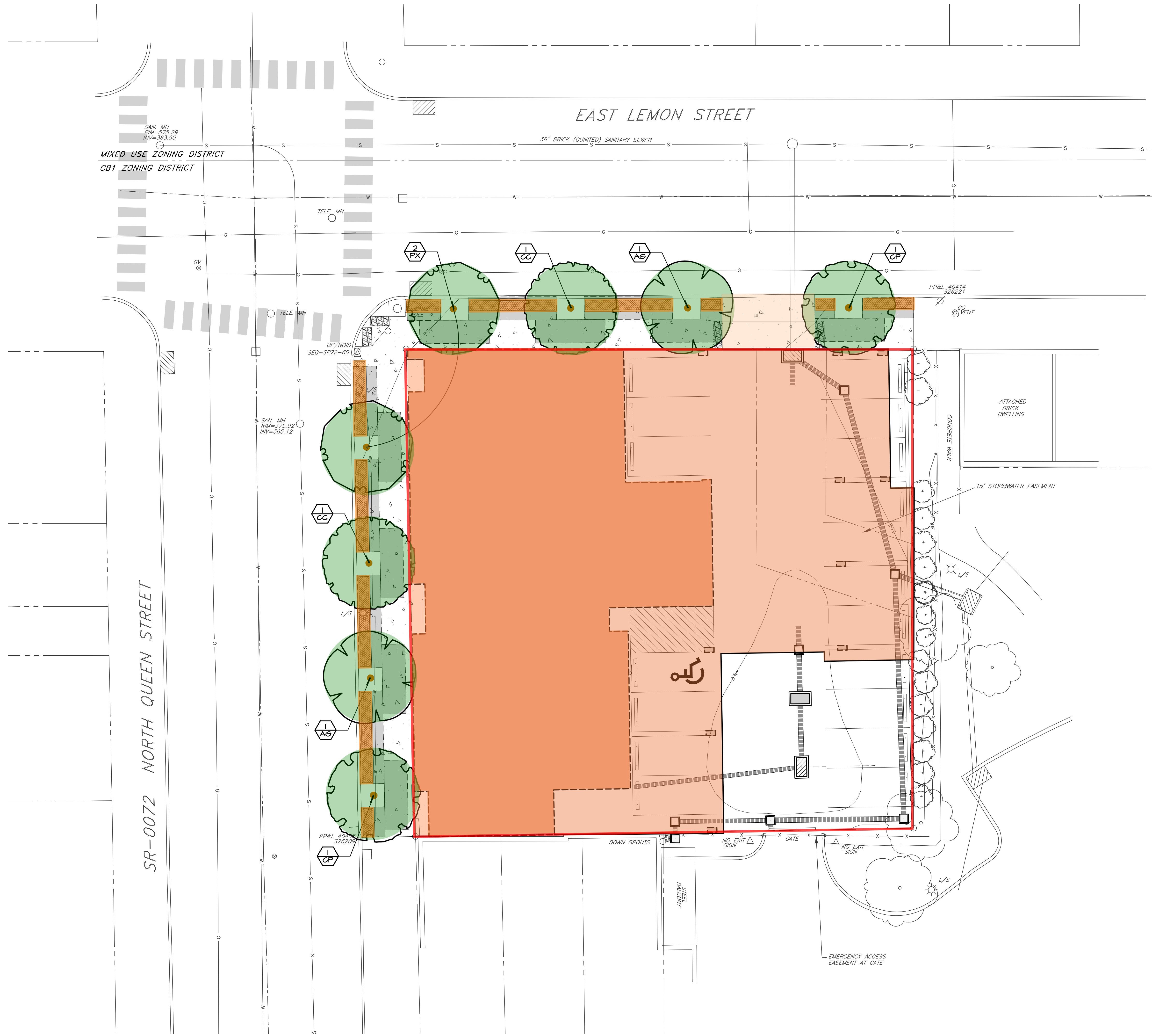
MANAGER:	CLL	DATE:	JULY 6, 2022
DESIGNER:	CLL	PROJECT NO.:	1246-001
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DRAWING NO.
4 of 5



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DRAWING: C:\Users\trsauner\OneDrive\Documents\ELA_Group\1246-001_347 N Queen St Lancaster\Project Files\CAD Data\Land Development\LANDSCAPING.dwg - PLOTTED: Jul 06, 2022 10:25 am



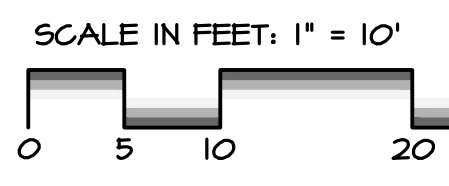
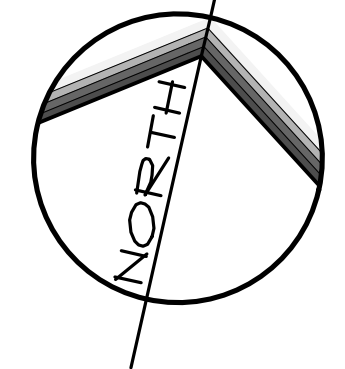
PLANT SCHEDULE

TREES	QTY	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER	REMARKS
AS	2	Amelanchier x grandiflora 'Robin Hill'	Robin Hill Apple Serviceberry	2"- 2 1/2" Cal.	B4B	NATIVE
CC	2	Corphus caroliniana	American Hornbeam	2"- 2 1/2" Cal.	B4B	NATIVE
CP	2	Crataegus phaenopynum	Washington Hawthorn	2"- 2 1/2" Cal.	B4B	NATIVE
PX	2	Prunus x hillieri 'Spire'	Spire Cherry	2"- 2 1/2" Cal.	B4B	

TOTAL PROPERTY FRONTAGE / REQUIRED STREET TREES				
STREET NAME	FRONTAGE DISTANCE	REQUIREMENT	CALCULATION	FEE IN LIEU OF STREET TREES
QUEEN STREET	105.07'	1 STREET TREE REQUIRED PER 25' OF FRONTAGE	214.43 DIVIDED BY 25 = 9 TREES PROVIDED	
LEMON STREET	109.36'			
TOTAL FRONTAGE	214.43'	STREET TREES PROVIDED	9 TREES PROVIDED	1

NOTES

- STRUCTURAL SOIL TO EXTEND 10' BEYOND EACH TREE PIT BEHIND CURB UNDER BRICK PAVEMENT BAND, AS WELL AS 5' UNDER CONCRETE WALK FROM SIDE OF TREE PIT.
- ALL PERTINENT LANDSCAPE NOTES COVERING CONTRACTOR NOTES, SOIL PREPARATION, MULCH, PLANT STANDARDS AND PLANT GUARANTEE, PLANTING DETAILS, AND SO ON, WILL BE PROVIDED ON THE FINAL LAND DEVELOPMENT PLANS SUBMITTED FOLLOWING THIS SKETCH PLAN PROCESS.



REVISIONS PER:	DATE:	BY:
1. -	-	-
2. -	-	-
3. -	-	-
4. -	-	-
5. -	-	-

EA
group, inc.
ENGINEERS + LANDSCAPE ARCHITECTS

743 S. BROAD ST.
LITITZ, PA 17543
(717) 626-7271
elagroup.com

SKETCH PLAN
SUBJECT:
LANDSCAPE PLAN
347 NORTH QUEEN STREET
LANCASTER, PA 17603
CITY OF LANCASTER, LANCASTER COUNTY, PENNSYLVANIA
CLIENT:
347 NORTH QUEEN STREET, LLC

MANAGER:	CLL	DATE:	JULY 6, 2022
DESIGNER:	CLL	PROJECT NO.:	1246-001
DRAWN BY:	TRS	SCALE:	1" = 10'

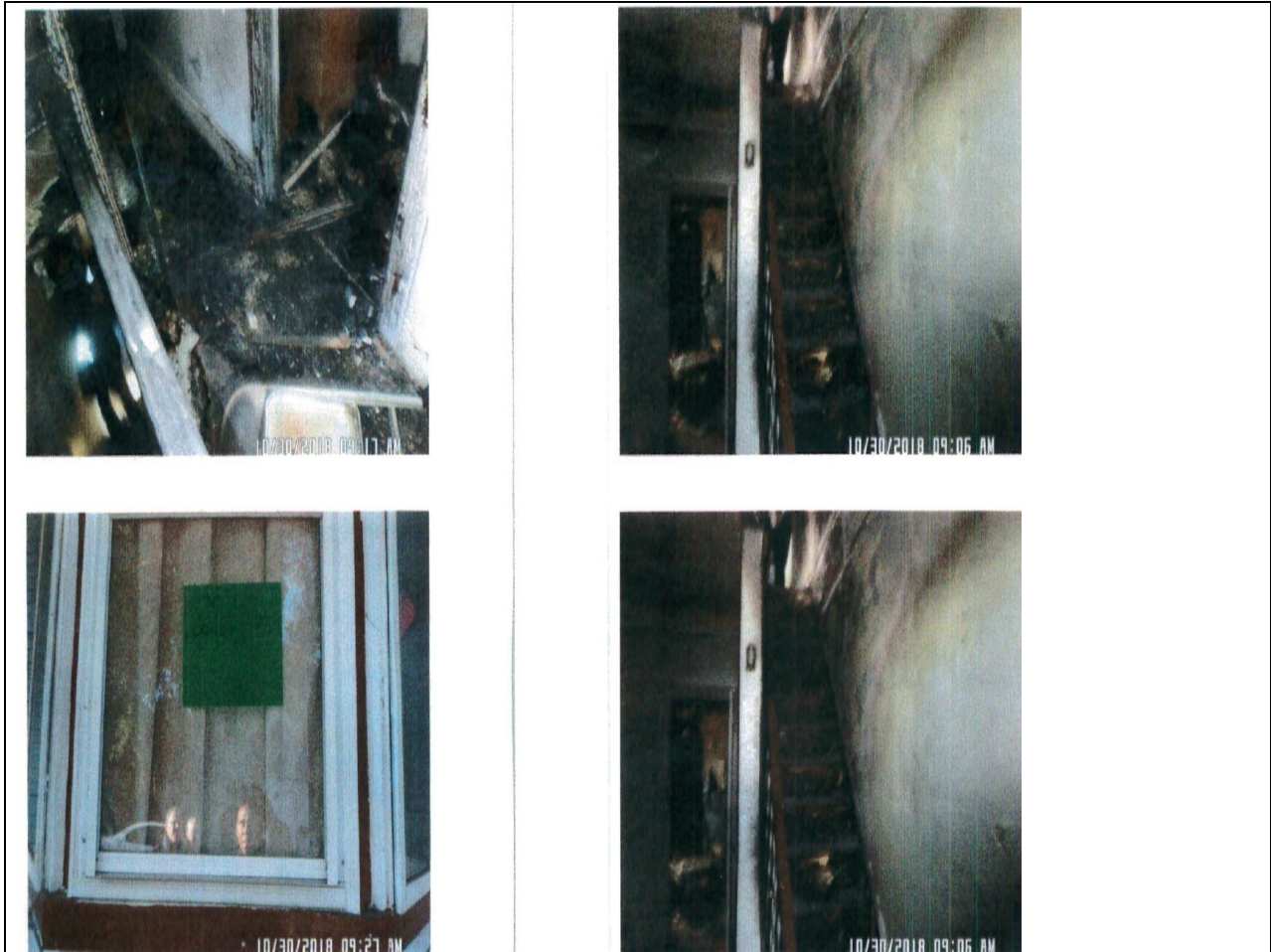
DRAWING NO.
5 of 5

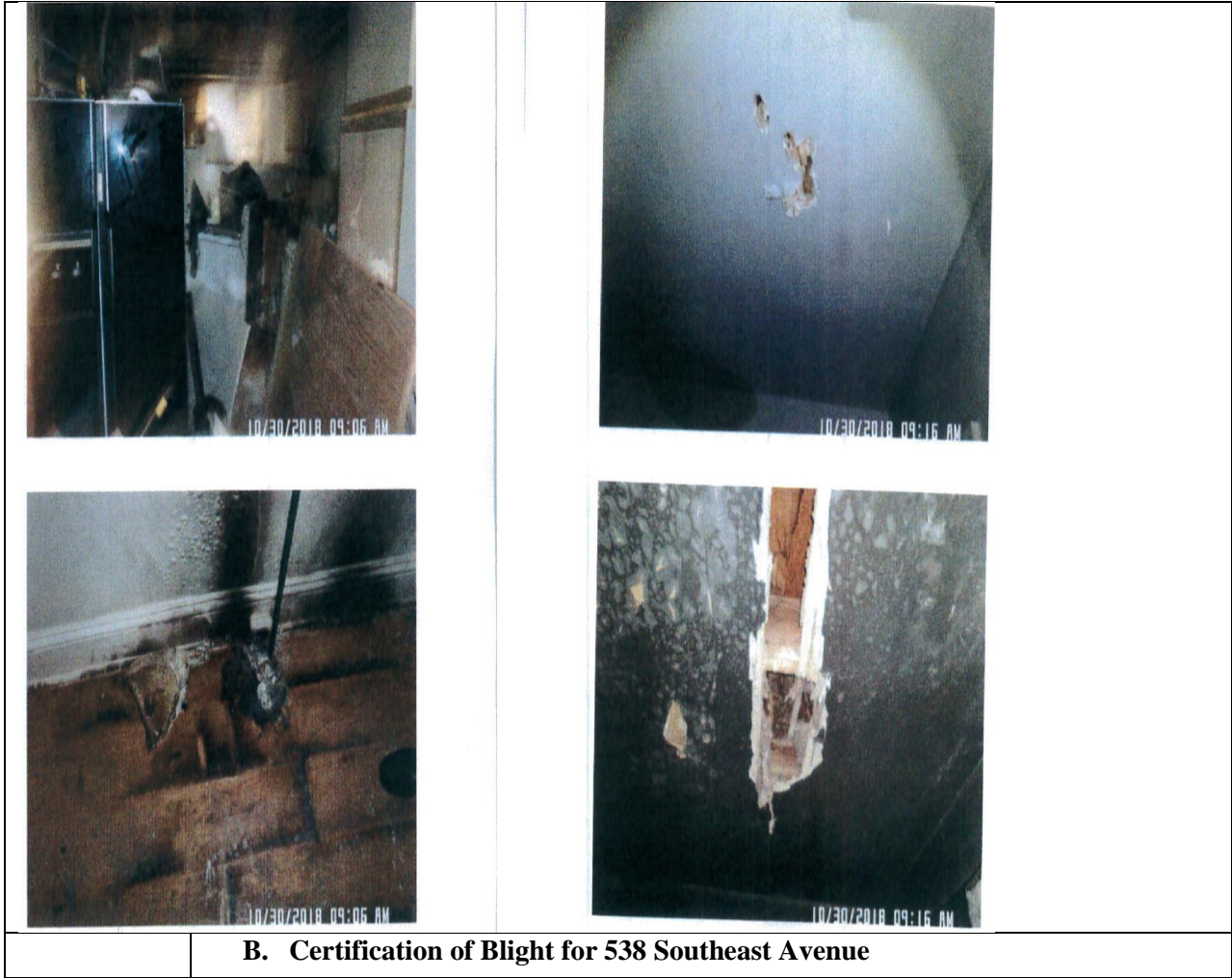
4.	Redevelopment Authority of City of Lancaster (RACL)
	A. Certification of Blight for 538 Southeast Avenue

MEMORANDUM

To:	Planning Commission
From:	Zaritzia Burgos, Property Reinvestment Board Secretary
Date:	July 15, 2022
Subject:	Updates from the Property Reinvestment Board

1. **538 Southeast Avenue:** This property was owned by Nathaniel Wright when the property was declared condemned. It was then purchased by Stonehedge Holdings, LLC, Jacob King in 2020. The property was condemned in October 2018. The property was brought to the LPRB in January 2020 and a potentially eligible letter was issued. Due to the pandemic, all actions against the property were stopped. In March of 2021 we received notification there was a new owner and a letter of potentially eligible was sent to the new owner, Stonehedge Holdings, LLC, Jacob King. In April 2021, a letter was issued to Mr. King by building codes to advise the owner on what needed done for permits, there was no action or contact from Mr. King. A notice of blight was issued in September 2021. Mr. King submitted an appeal and was sent a letter to appear before Housing Board of Appeals in October 2021 and was granted the appeal. Mr. King submitted a rehab plan and signed a rehab agreement stating he would be finished with the job in February 2022, he later requested an extension until April 2022. Mr. King has not appeared to any of the other meetings to provide an update nor has Mr. King called in requesting permits to continue work.





B. Certification of Blight for 538 Southeast Avenue

MEMORANDUM

To: Planning Commission
From: Zaritzia Burgos, Property Reinvestment Board Secretary
Date: August 1, 2022
Subject: Updates from the Property Reinvestment Board

- 1. 502-506 W. Walnut Street:** This property is owned by Koyukon LP. The property was condemned on August 17, 2021. The property was brought to the Lancaster Property Reinvestment Board in November 2021 and a potentially eligible letter was issued on November 15, 2021. There had only been one permit on file for “slate roof repair” in October 2021. The property was declared Blight and letters sent to the owner on December 14, 2021. On January 4, 2022, an email was sent stating Mr. Eric Corsini was interested in the property. On January 11, 2022, a deposit was provided for the housing board of appeal, but no appeal form was filled out. On February 1, 2022, an email went out looking for the status of the appeal form. The appeal was scheduled for March and then later rescheduled for April 21, 2022. The appeal was denied, and file is now forwarded to the Lancaster Planning Commission.

